

Executive Summary

1. The applicant, a registered local charitable organisation, is an affected operator by land clearance for the Yuen Long South Second Phase Development.
2. The application site (the Site) is on Government Land near Lot 114 R. P. in D. D. 114, Pat Heung, New Territories.
3. The site area is about 4,670 m², which falls entirely on Government Land.
4. The majority of the Site (about 98%) is within the Vacant Government Site for Community, Institutional or Non-Profit Making Purposes No. PH83.
5. The Site mainly falls within an area zoned “Agriculture” (“AGR”) on the Approved Pat Heung Outline Zoning Plan (OZP) No. S/YL-PH/11, with minor portions encroaching onto an area zoned “AGR” on the Approved Shek Kong OZP No. S/YL-SK/11.
6. The applied use is ‘Proposed Temporary Animal Boarding Establishment with Ancillary Facilities and associated Filling of Land’ for a period of 5 years. The applied use is a Column 2 use within the “AGR” zone on the two OZPs requiring planning permission from the Town Planning Board.
7. A total of 6 structures are proposed on site for animal boarding establishment, adoption area, veterinary consultation rooms solely for internal use, reception and administrative section, guardroom, storeroom and other ancillary uses. The gross floor area is about 4,309 m².
8. The existing drainage channel within the Site will be untouched. No structures will be erected on any unpaved area within the Site, which will be preserved as landscape area. Potential adverse visual and landscape impacts are not anticipated.
9. Operation hours of the office are from 9 a.m. to 7 p.m. daily (including Sundays and public holidays). Animal kennels operate 24 hours daily (including Sundays and public holidays).
10. The proposed development caters for the demand for the caring of abandoned and physically impaired animals, the provision of pet adoption services, public events for the promotion of animal welfare, and the reduction of stray animals by conducting neutering programmes.

行政摘要

1. 申請人是政府認可的註冊慈善團體，為受到元朗南發展計劃第二期發展工程的收地工作影響的業務經營者。
2. 申請地點位於新界八鄉丈量約份第 114 約鄰近地段第 114 號餘段的政府土地。
3. 申請地點的面積為大約 4,670 平方米，申請範圍完全位於政府土地。
4. 申請地點的主要部分（約 98%）位於「可作社區、團體或非牟利用途的空置政府用地」編號 PH83。
5. 申請地點的主要部分在《八鄉分區計劃大綱核准圖編號 S/YL-PH/11》上劃為「農業」地帶，另外有小部分在《石崗分區計劃大綱核准圖編號 S/YL-SK/11》上亦劃為「農業」地帶。
6. 申請用途為「擬議臨時動物寄養所連附屬設施及相關填土工程（為期 5 年）」。該用途在兩張大綱圖上的「農業」地帶內均屬於第二欄用途，須向城市規劃委員會申請。
7. 申請人擬議提供 6 個構築物作動物收容所、動物領養區、只供內部使用的獸醫診症室、接待處及行政部門、保安更亭、貯物室及其他附屬用途，總樓面面積為大約 4,309 平方米。
8. 擬議發展不會干擾位於申請範圍內的現有河道，擬議填土範圍外的土地亦會保留作園景地帶，並不會設有構築物，預期擬議發展不會帶來潛在的負面視覺及景觀影響。
9. 辦公室的營運時間為每天上午 9 時至下午 7 時（星期日及公眾假期照常辦公），動物收容所每天 24 小時運作（星期日及公眾假期照常運作）。
10. 申請用途有助滿足本地被遺棄和殘障動物的照顧需求、提供需求殷切的動物領養服務、舉行公眾教育活動以推廣動物權益及福利，以及透過絕育計劃減少流浪動物。

Planning Statement

Introduction

1. This Planning Statement is submitted to the Town Planning Board (“the Board”) on behalf of the Society for Abandoned Animals Limited (“SAA”) (“the Applicant”) in support of the planning application for ‘Proposed Temporary Animal Boarding Establishment with Ancillary Facilities and associated Filling of Land for a Period of 5 Years’ (“the Proposed Development”) on Government Land near Lot 114 R. P. in D. D. 114, Pat Heung, New Territories (“the Site”) under Section 16 of the Town Planning Ordinance.

Background

2. The Applicant, SAA, is a registered local charitable organisation established in 1998, with the aims to rescue and rehome abandoned animals, promote animal rights and welfare in the community, offer assistance to pet owners for veterinary services, and provide animal neutering programmes to control the number of stray animals.
3. The Site is the subject of a previous approved application no. A/YL-PH/969 for the same applied use submitted by the same applicant and was approved by the Rural and New Town Planning Committee on 22.12.2023 for a period of 5 years. The Applicant has complied with the approval conditions regarding the submission of a drainage proposal, a fire service installations proposal and a run-in/out proposal. However, the Applicant requires funding support from the Development Bureau (“DEVB”) for the construction of structures and implementation of the approved proposals.
4. In order to apply for the funding, a Short Term Tenancy (“STT”) has to be obtained from the Lands Department (“LandsD”). SAA has agreed and signed the proposed STT (STT No. STTYL0254). However, DEVB does not have enough time to process the funding application before the deadline for complying with the approval conditions. As no further extension of time would be granted from the Planning Department for compliance with the approval conditions, the Applicant would like to submit a fresh s.16 application to continue the applied use.
5. Compared with the previous approval, the site area is revised from 7,900 m² (about) to 4,670 m² (about) in order to tally with the site area of the STT No. STTYL0254 and to exclude the adjoining watercourse/channel. The internal layout is also revised to avoid the “no-build” zone.
6. The application is to facilitate the relocation of SAA’s operation from Pak Sha Tsuen in Yuen Long, which has to be returned to LandsD by 28.9.2026 for the Yuen Long South Second Phase Development. As such, there is an imminent need for the Applicant to secure a relocation site to continue its operation.

Current Premise

7. The current premise of SAA is located on Lot Nos. 1661 R. P. (Part), 1662 R. P. (Part) and 1668 (Part) in D. D. 119, Pak Sha Tsuen, Yuen Long, New Territories (**Plan 1.1**).

The site area is about 1,900 m². Photos of the current premises and existing facilities are enclosed in **Annex I**.

8. About 200 nos. of rescued animals, including dogs, cats, lambs and other small animals are staying at the current premise. The average space for various types of animal are as follow:

Types of animal	Dimension (L x W) (about)	Area per animal (about) (m ²)
Dog	140cm x 107cm	1.5
Cat	63.5cm x 57cm	0.36
Lamb	5.2m x 3.4m	17.7
Turtle	5.5m x 2.1m	11.6 (for all turtles)

Site Selection Process

9. The Applicant has conducted a throughout site selection process to identify a suitable site for the relocation of the affected operation. The process was difficult as suitable sites are either less accessible or occupied by other operators. Three potential sites have been recommended by DEVB, and they are all Vacant Government Sites for Community, Institutional or Non-profit Making Purposes.
10. The current application site was chosen by the Applicant as it is the most suitable site for the relocation of its affected operation. It has been left vacant for a long period of time and there has not been any sign of agricultural rehabilitation. Some brownfield activities can be found to the north of the Site. It is also adjoining the Emergency Rescue Sidings of the High Speed Rail. The Proposed Development is not incompatible with surrounding land uses and can put scarce land resources into a better use.

Application Site

11. The Site is on a piece of Government Land near Lot 114 R. P. in D. D. 114, Pat Heung, New Territories. It is abutting Ko Sheung Road and accessible by vehicles (**Plans 1 and 2**).
12. The site area is about 4,670 m², which falls entirely on Government Land. The majority of the Site (about 98%) is within the Vacant Government Site for Community, Institutional or Non-Profit Making Purposes No. PH83 (**Plan 2**).

Planning Context

13. The Site mainly falls within an area zoned “Agriculture” (“AGR”) on the Approved Pat Heung Outline Zoning Plan (OZP) No. S/YL-PH/11, with minor portions encroaching onto an area zoned “AGR” on the Approved Shek Kong OZP No. S/YL-SK/11.
14. The planning intention of the “AGR” zone is primarily to retain and safeguard good quality agriculture land/farm/fish ponds for agricultural purposes. It is also intended to retain fallow arable land with good potential for rehabilitation for cultivation and other agricultural purposes.

15. The applied use is a Column 2 use within the “AGR” zone on the OZPs which may be permitted with or without conditions by the Board.
16. The Proposed Development is temporary in nature. Approval of the current application on a temporary basis for a period of 5 years would not frustrate the long-term planning intention of the “AGR” zone.

Development Parameters

17. The following table explains details of the proposed structures on site (**Plan 3**):

	Structure / Use	Floor Area (ab.) (m ²)	Covered Area (ab.) (m ²)	Height (ab.) (m)	No.of Storey
1	2/F: Veterinary consultation room / Training room 1/F: Administrative section G/F: Reception / Adoption area	1,073	358	10	3
2	1 & 2/F: Kennel for dogs/cats G/F: Laundry / Storeroom / Refuse room	954	318	10	3
3	G to 2/F: Kennel for dogs/cats	1,260	450	10	3
4	2/F: Kennel for small-sized animals G & 1/F: Kennel for dogs/cats	653	233	10	3
5	3 sets of external ventilated staircases & walkways from G/F to 2/F	339	116	10	3
6	Guardroom / Storeroom	30	30	5	1
Total		<u>4,309</u>	<u>1,505</u>		

18. About 57% of the Site (i.e. about 2,658 m²) is proposed to be paved with concrete of about 0.1 m in depth to provide an access path, outdoor activity area for animals, and solid ground for the erection of structures and better site maintenance (**Plan 4**).
19. 2 nos. of septic tanks (1.4 m (L) x 4.2 m (W) x 1.8 m (D) each) are proposed for animal waste collection (**Plan 4**).
20. The Proposed Development will be limited within the proposed paved area. The remaining unpaved area will be untouched and served as landscaping area and outdoor exercise areas for animals (**Plan 4**). The landscape area is inaccessible. Existing vegetation on unpaved land will not be affected. Meanwhile, no diversion to the existing drainage channel will be carried out in the Proposed Development.
21. Operation hours of the office are from 9 a.m. to 7 p.m. daily (including Sundays and public holidays). Animal kennels operate 24 hours daily (including Sundays and public holidays).
22. About 400 nos. of animals (including dogs, cats, rabbits, hamsters, turtles and other small-sized animals) will be staying in the Proposed Development.

23. The Proposed Development will be fully air-conditioned and enclosed with sound-proofing materials. Animal cleaning and training activities will be carried out entirely within enclosed areas. As such, animal odours and noises will be minimal.
24. The veterinary consultation room is solely for internal use and will not provide any service to the general public. Physically impaired animals at the kennels would be staying at the consultation room under medical surveillance.

Planning Gain

25. The Applicant is a registered local charitable organisation which has long been actively participating in rescuing and rehoming abandoned animals, and conducting neutering programme to help reduce stray animals in the area. In view of the tight land clearance schedule, the Applicant has an urgent need to relocate and continue the operation at the application site.
26. The Proposed Development caters for the increasing demand for the caring of abandoned and physically impaired animals, the provision of pet adoption services, public events for the promotion of animal welfare, and the reduction of stray animals by conducting neutering programmes.

No Adverse Impact to the Surroundings

Visual and Landscape

27. The Proposed Development is compatible with the surrounding land uses of rural characters predominated by some active/fallow agricultural land, plant nursery, unused vegetated land, and open storage of construction materials and vehicles.
28. There are trees located within the Site. Those that are not in conflict with the Proposed Development will be preserved in situ, significant landscape impact arising from the Proposed Development is not anticipated.

Noise

29. No public announcement system and whistle blowing will be allowed at the Site. No animal training sessions will be carried out during sensitive hours (i.e. 7 p.m. to 9 a.m.). All animals will be staying in the kennels during sensitive hours to avoid any potential noise nuisance to nearby sensitive receivers.
30. All kennels will be enclosed with sound-proofing materials, equipped with mechanical ventilation and air-conditioning, and kept in sanitary conditions. No environmental nuisance is expected to be arisen from the Proposed Development.

Sewerage and Pollution

31. The Applicant will follow the environmental mitigation measures as set out in the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' issued by the Environmental Protection Department in order to minimise any possible environmental nuisances, and to comply with all environmental protection/pollution control ordinances.

32. As no public sewer is available in close proximity to the Site, two septic tanks are proposed within the Site for sewage and animal waste collection (**Plan 4**). Noting that the Site is abutting an existing drainage channel, the design and construction of the septic tanks will strictly follow the requirements as stipulated in ProPECC PN 5/93.

Traffic

33. An 8 m-wide run-in/out is proposed at the Site. The run-in/out proposal has been submitted under the previous approved application no. A/YL-PH/969 (**Annex IIa**) and has been approved by the Highways Department and Transport Department on 29.1.2026 (**Annex IIb**). There is no fundamental change to the previously approved run-in/out proposal.
34. A loading/unloading (L/UL) space for Light Goods Vehicles (LGV) is proposed on site for the operation of the Proposed Development (**Plan 5**). It is expected that the delivery of rescued animals and animal necessities will be carried out 1-2 times per week. The delivery will be arranged during nonpeak hours to minimise any potential traffic impact. No vehicles over 5.5 tonnes, as defined by the Road Traffic (Construction and Maintenance of Vehicles) Regulations should be allowed to enter the Site.
35. The trip attraction and generation rates are expected as follows:

	Trip Generations	Trip Attractions
09:00 – 10:00	0	0
10:00 – 11:00	0	1
11:00 – 12:00	1	0
12:00 – 13:00	0	1
13:00 – 14:00	0	0
14:00 – 15:00	0	1
15:00 – 16:00	1	0
16:00 – 17:00	0	0
17:00 – 18:00	0	0
18:00 – 19:00	0	0
Total Trips	<u>2</u>	<u>2</u>

36. In view of the low trip attraction and generation rates, it is expected that the Proposed Development should not cause adverse traffic impacts to the adjacent areas and road network.
37. No parking spaces will be provided at the Site. No extra trip generation/attraction is expected from visitors or staff.
38. Visitors are encouraged to get access to the Site by public transport. Staff will also commute by public transport. Green Minibus and bus stop (Lai Uk Tsuen) is available at a distance of about 600 m to the south of the Site. The estimated walking time is around 10 minutes (**Plan 6**).
39. Given the nature of the Proposed Development is to shelter abandoned animals and no commercial activities will be conducted, the Site is not expected to accept visitors frequently. People interested in animal adoption are required to make prior reservation

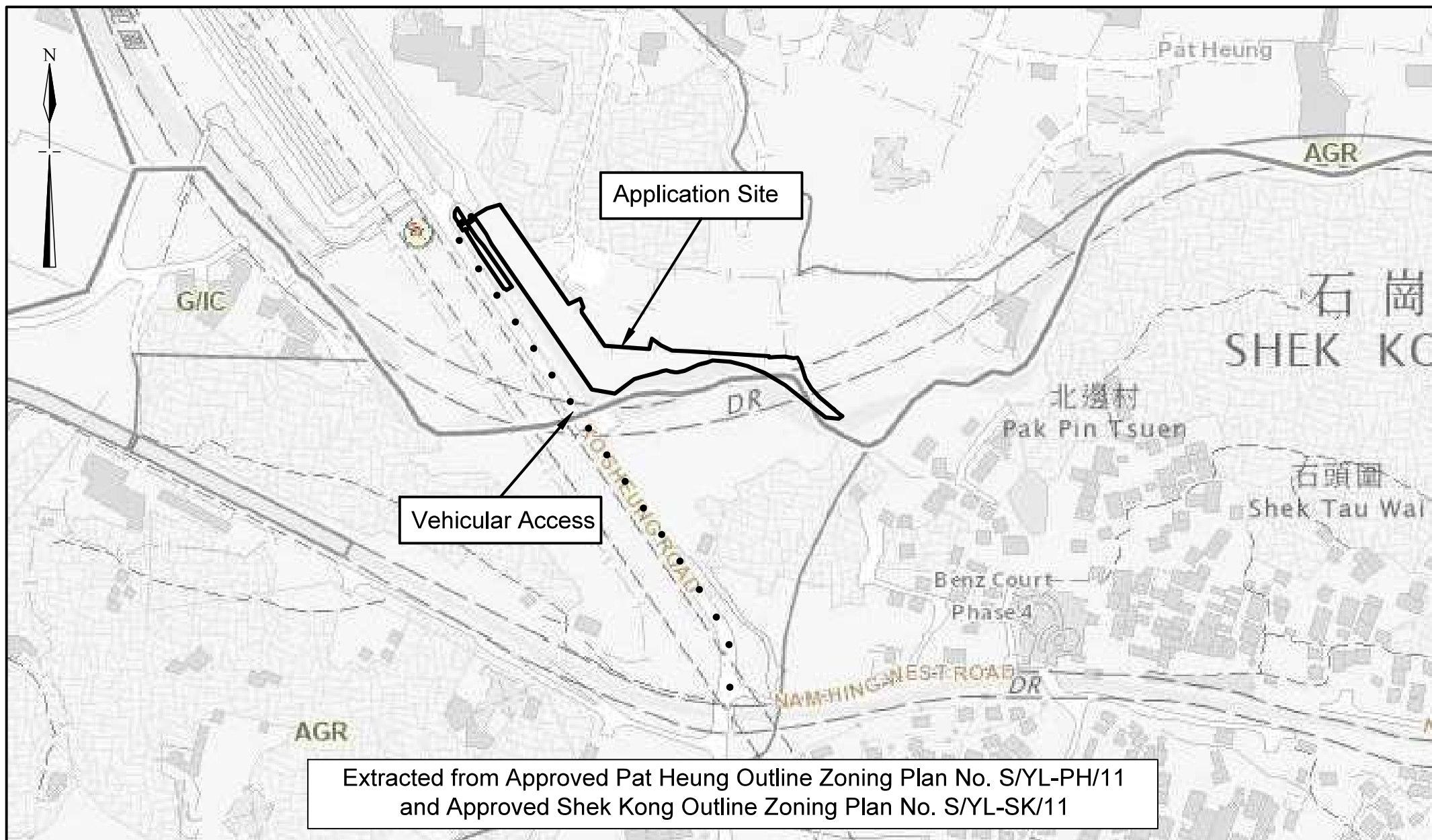
before visiting the Site. They will also be reminded that no parking space are provided at the Site and they are encouraged to get access to the Site by public transport. No walk-in visitors will be accepted.

40. Regarding traffic management measures, a 'No Parking' signage will be erected at the entrance of the Site.

Drainage

41. The drainage proposal has been submitted under the previous approved application no. A/YL-PH/969 (**Annex IIIa**) and has been approved by the Drainage Services Department (DSD) on 6.3.2025 (**Annex IIIb**). In view of the amendment of the site boundary compared with the previous approval, a slightly revised drainage proposal (**Plans 7.1 and 7.2**) and updated hydraulic calculations are submitted under the current application for DSD's consideration. There is no fundamental change to the previously approved drainage proposal.

- End -



Not to scale

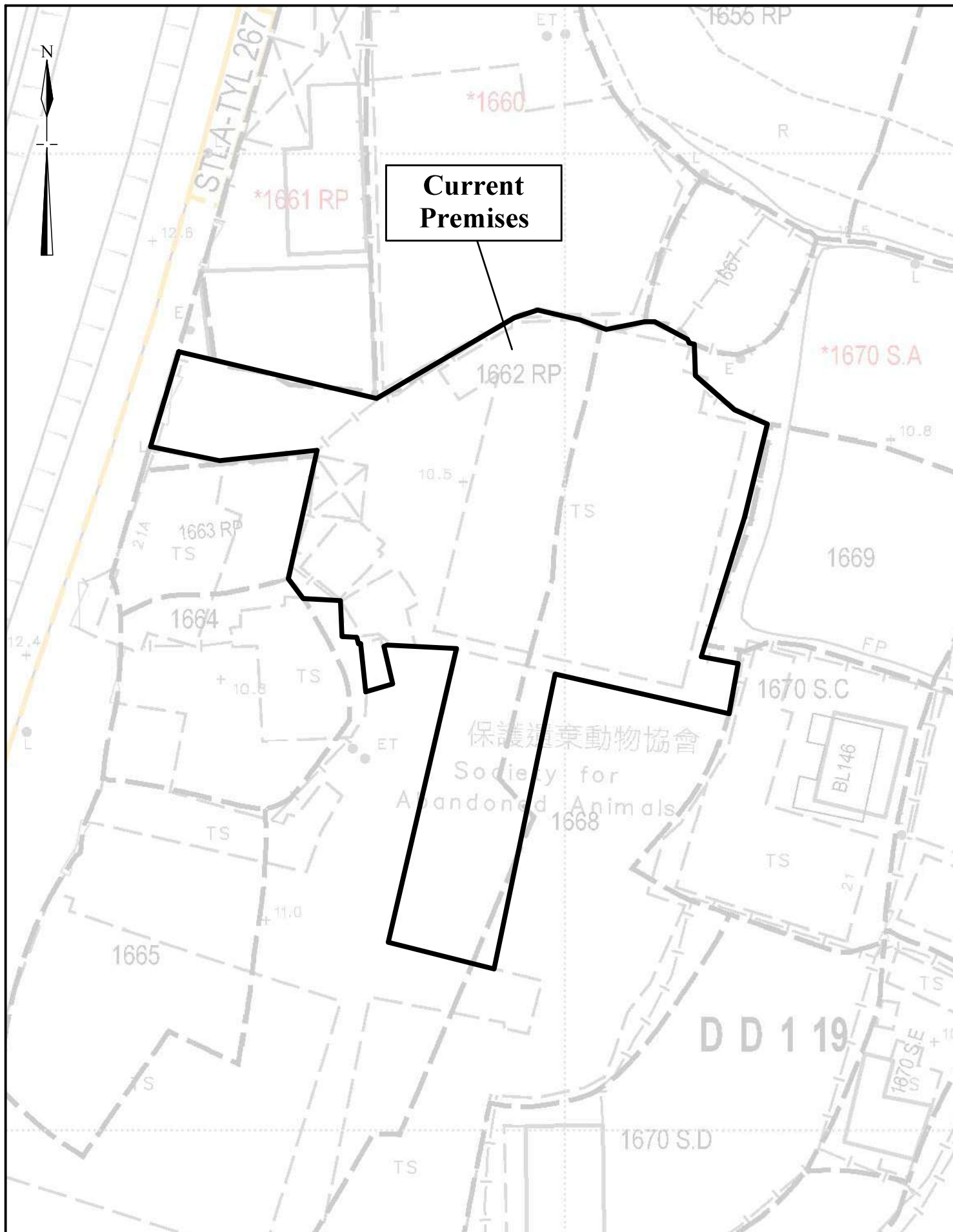
July 2026

Location Plan

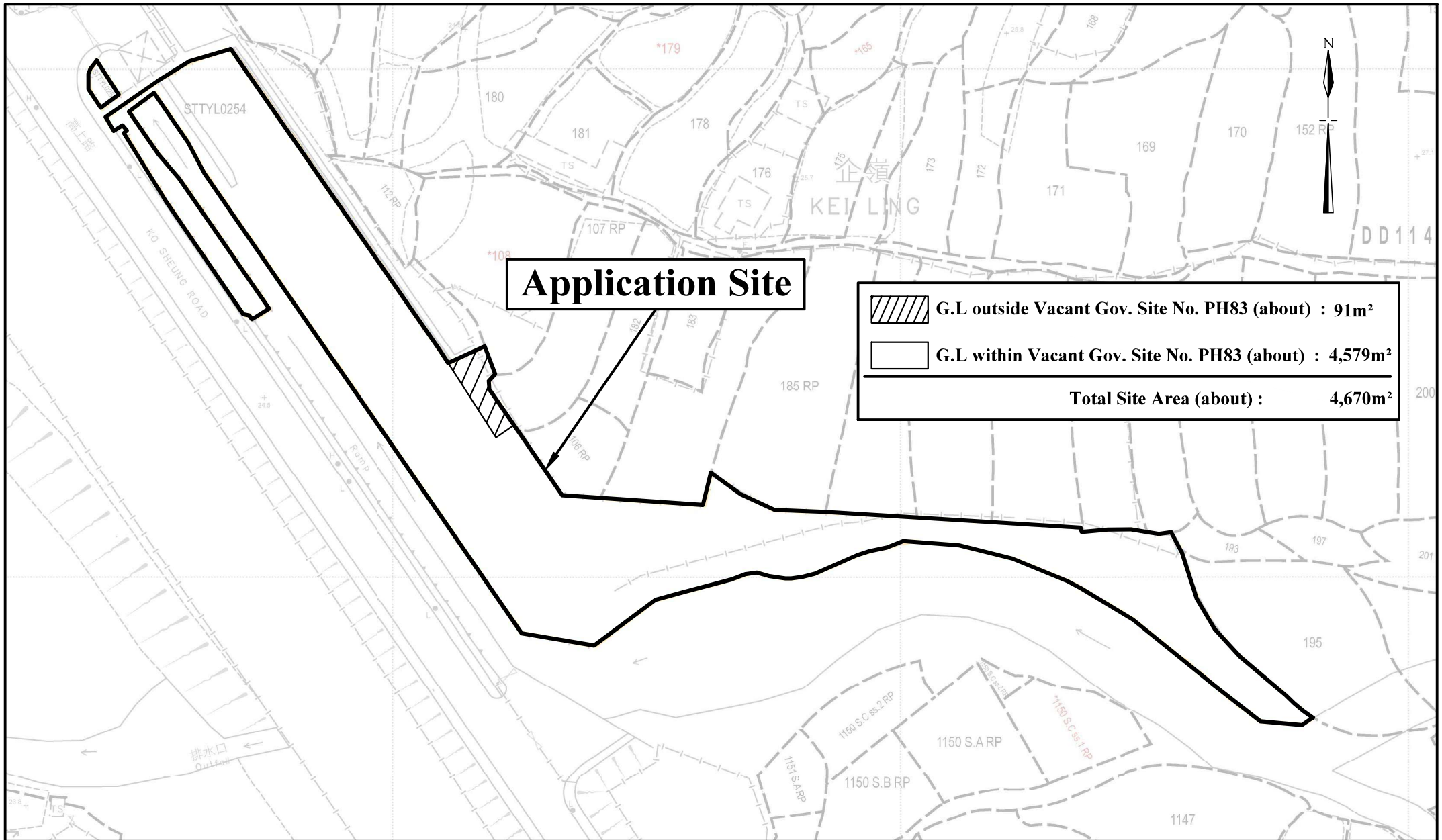
Government Land in D.D.114
Pat Heung, Yuen Long

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Plan 1
(P 23009)

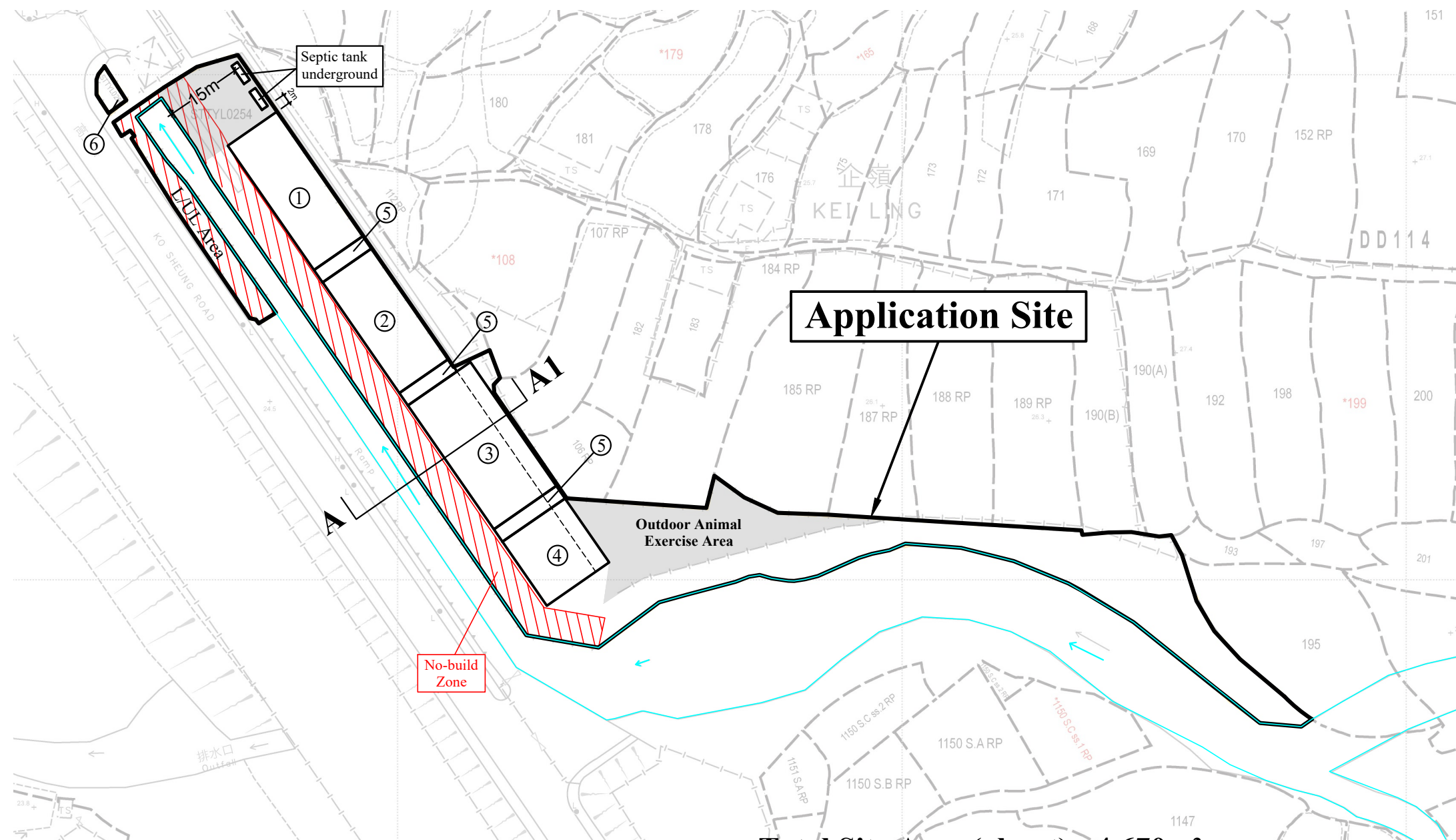


1:500	Location Plan of the Current Premises Lots 1661 RP(part), 1662 RP(part), 1668(part) and Adjoining Government Land in D.D 119 Yuen Long, New Territories	Goldrich Planners & Surveyors Ltd.
July 2026		Plan 1.1 (P 23009)



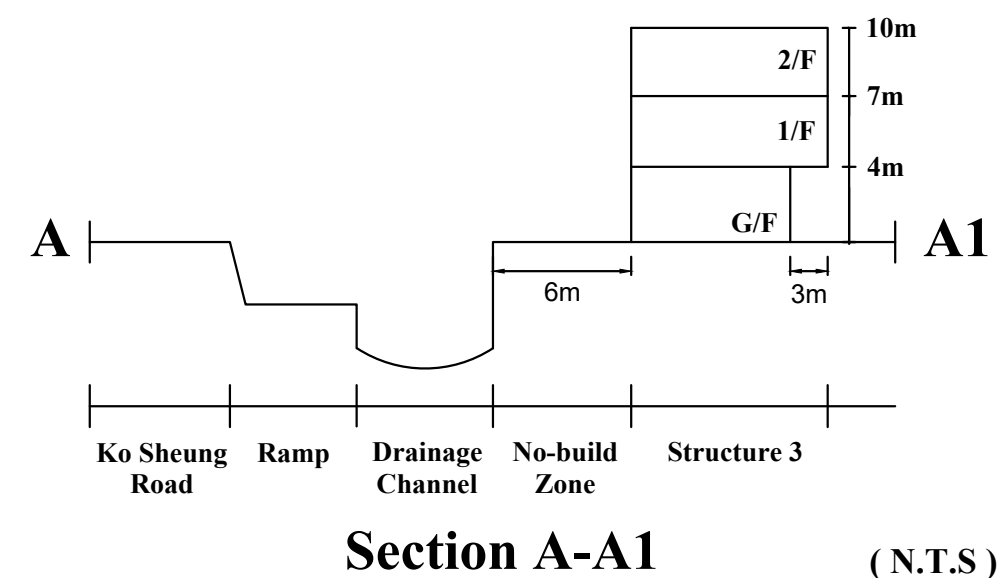
	G.L outside Vacant Gov. Site No. PH83 (about) : 91m ²
	G.L within Vacant Gov. Site No. PH83 (about) : 4,579m ²
Total Site Area (about) : 4,670m²	

1:1000	Lot Index Plan Government Land in D.D.114 Pat Heung, Yuen Long	Goldrich Planners & Surveyors Ltd.
July 2026		Plan 2 (P 23009)



Total Site Area (about) : 4,670m²

No.	Structures / Uses	Built Over Area/ Covered Area (about)	Floor Area (about)	No. of Storeys	Height
1	Admin and Reception	358 m ²	1,073 m ²	3	10m
2	Animal Boarding Establishment	318 m ²	954 m ²	3	10m
3	Animal Boarding Establishment	450 m ²	1,260 m ²	3	10m
4	Animal Boarding Establishment	233 m ²	653 m ²	3	10m
5	3 x External Ventilated Staircase and Walkway	116 m ²	339 m ²	3	10m
6	Guardroom / Storage	30 m ²	30 m ²	1	5m
Total Area (about) :		<u>1,505 m²</u>	<u>4,309 m²</u>		



1:1000 (A3)

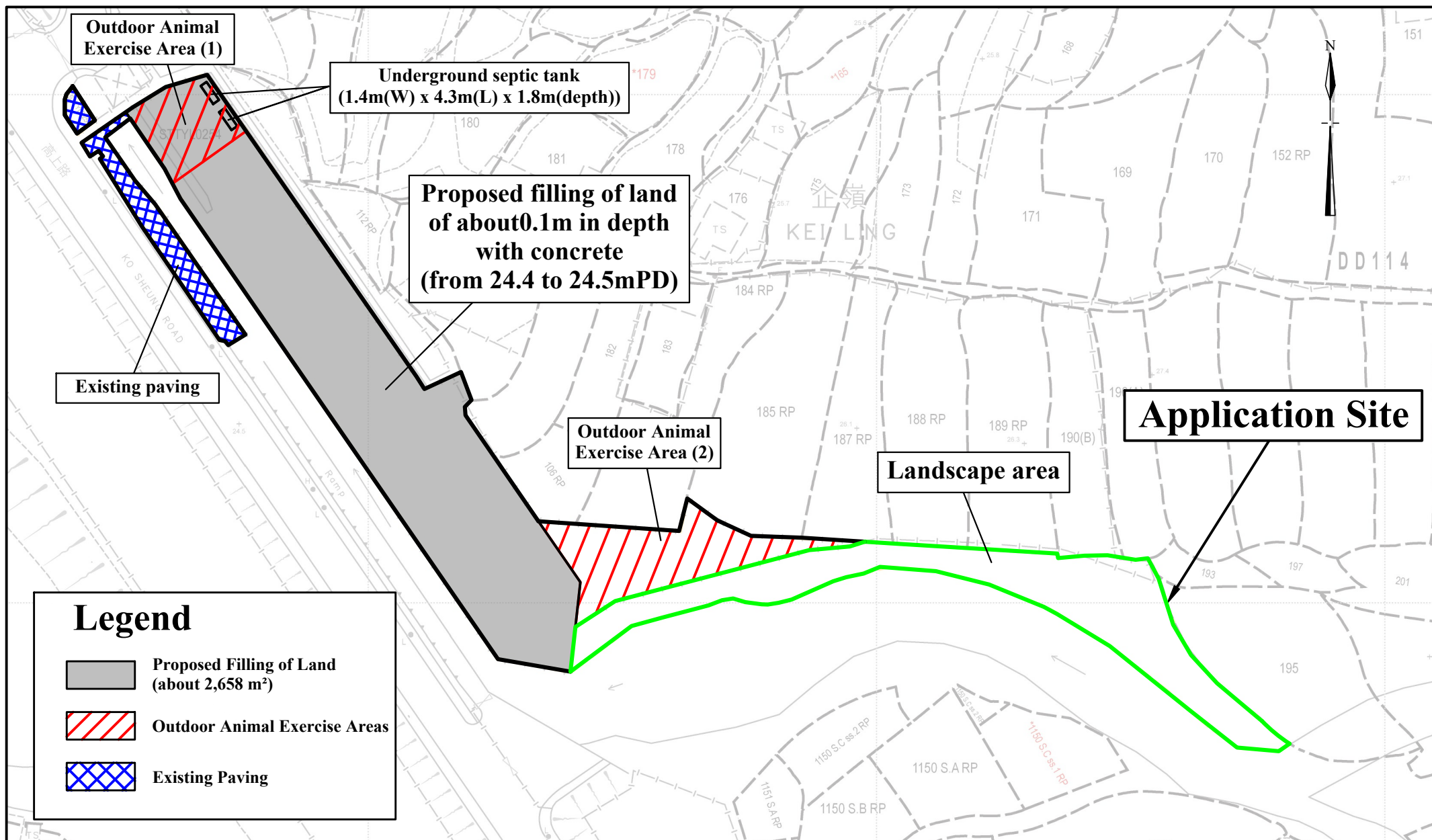
July 2026

Layout Plan

**Government Land in D.D.114
Pat Heung, Yuen Long**

**Goldrich Planners &
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**Plan 3
(P 23009)**



1:1000

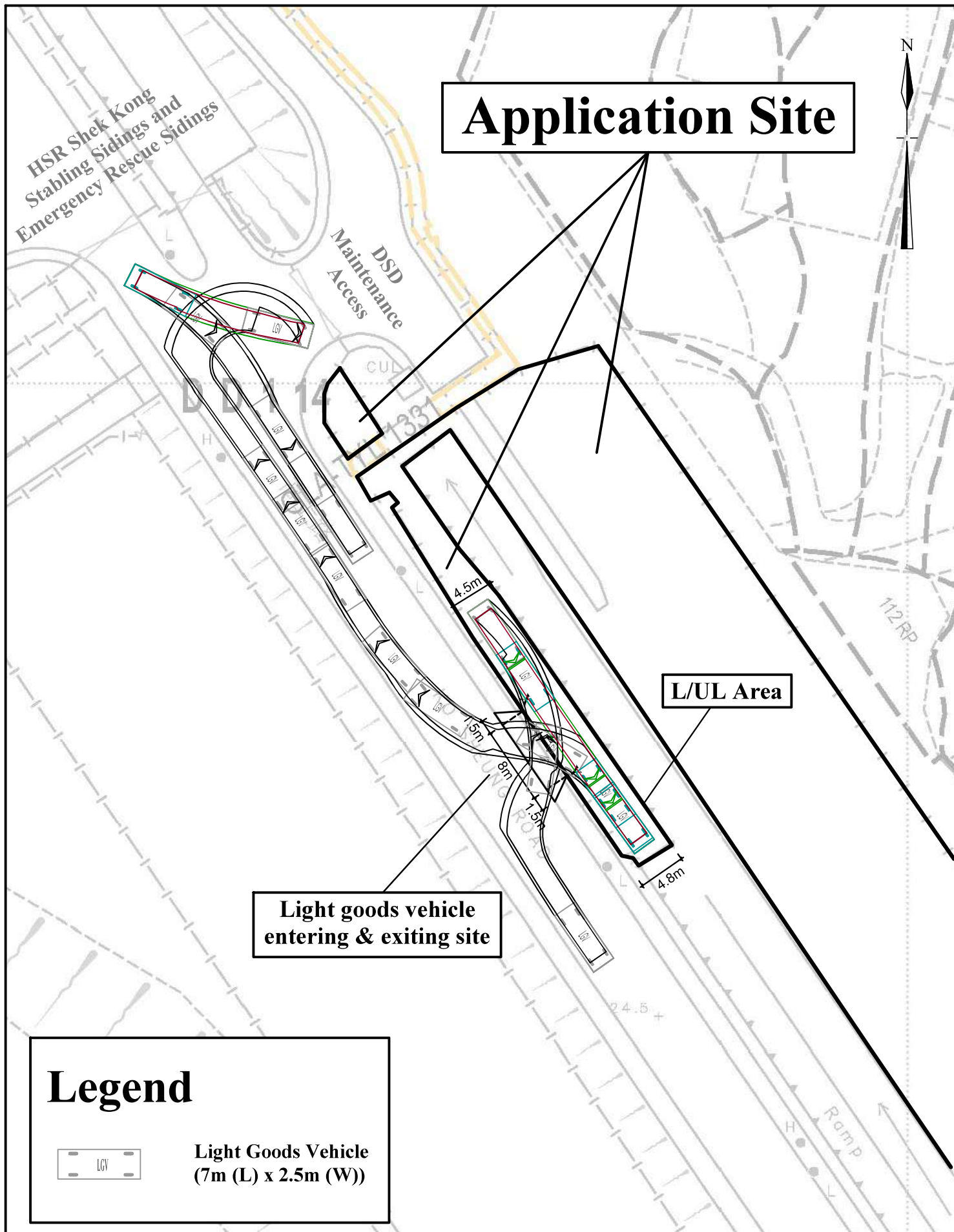
Plan showing Proposed Filling of Land, Outdoor Animal Exercise Areas and Landscape Area

Government Land in D.D.114
Pat Heung, Yuen Long

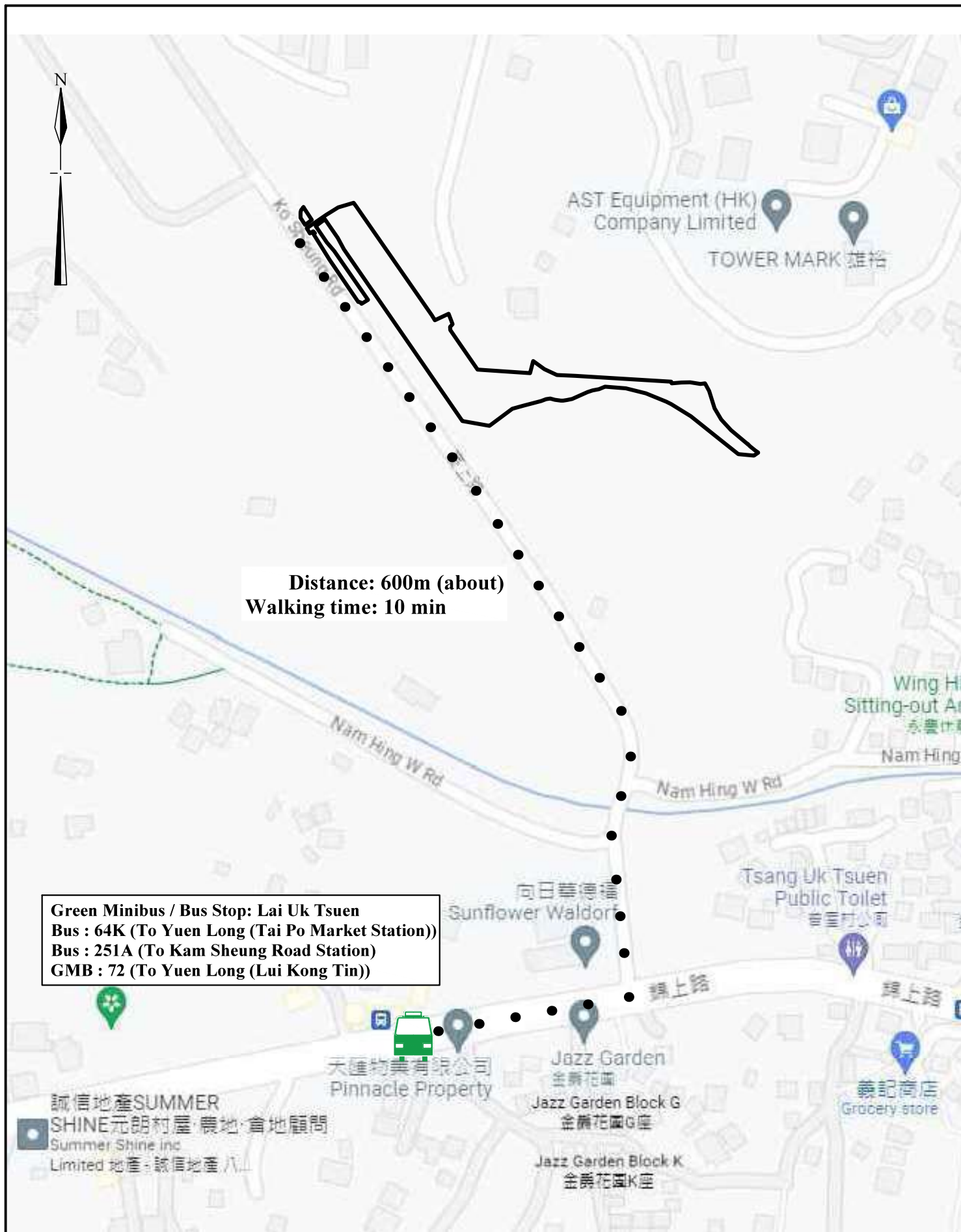
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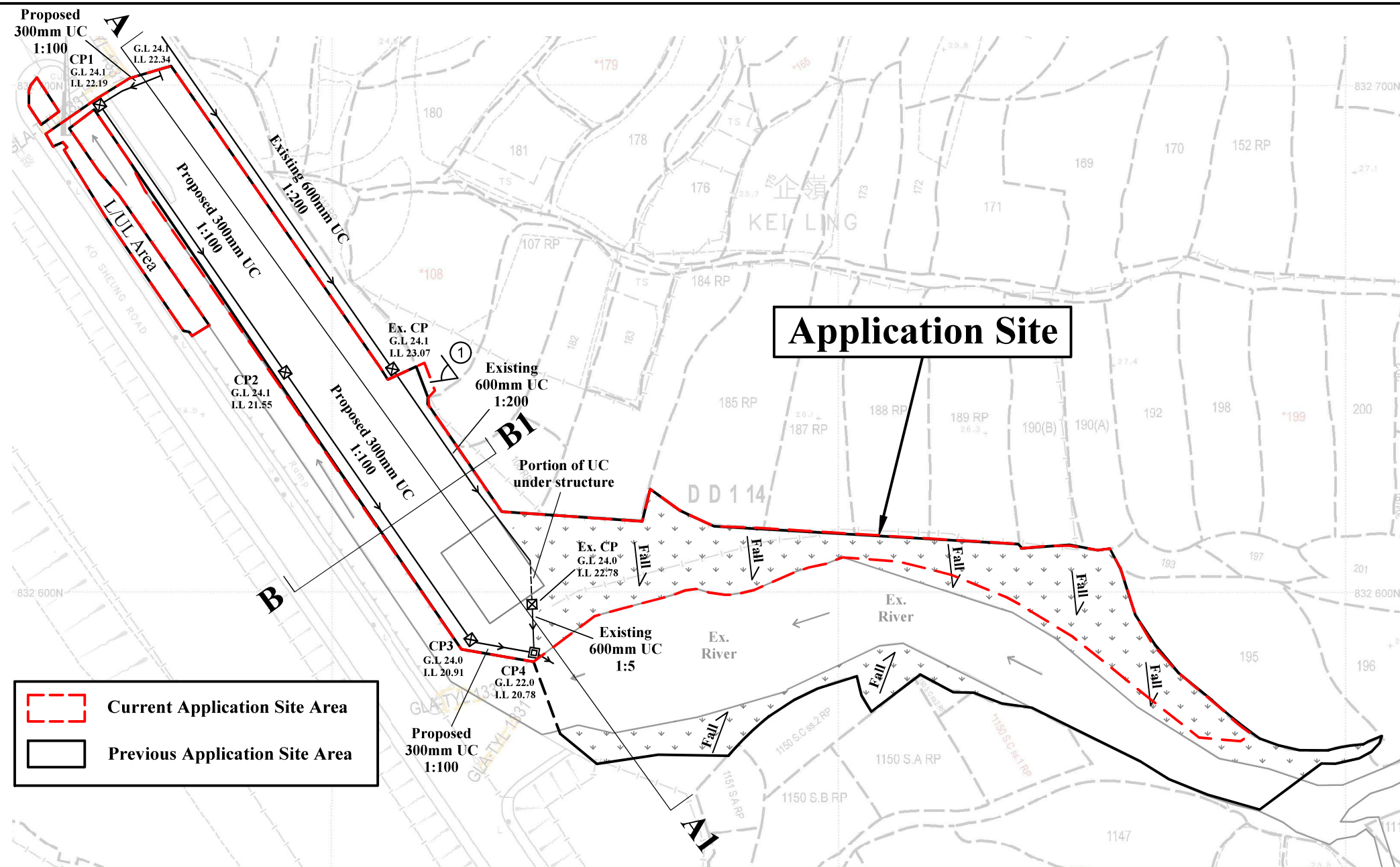
Plan 4
(P 23009)



1:500	Swept Path Analysis Government Land in D.D.114 Pat Heung, Yuen Long	Goldrich Planners & Surveyors Ltd.
July 2026		Plan 5 (P 23009)



N.T.S	Plan Showing Nearest Public Transportation Services Government Land in D.D.114 Pat Heung, Yuen Long	Goldrich Planners & Surveyors Ltd.
July 2026		Plan 6 (P 23009)

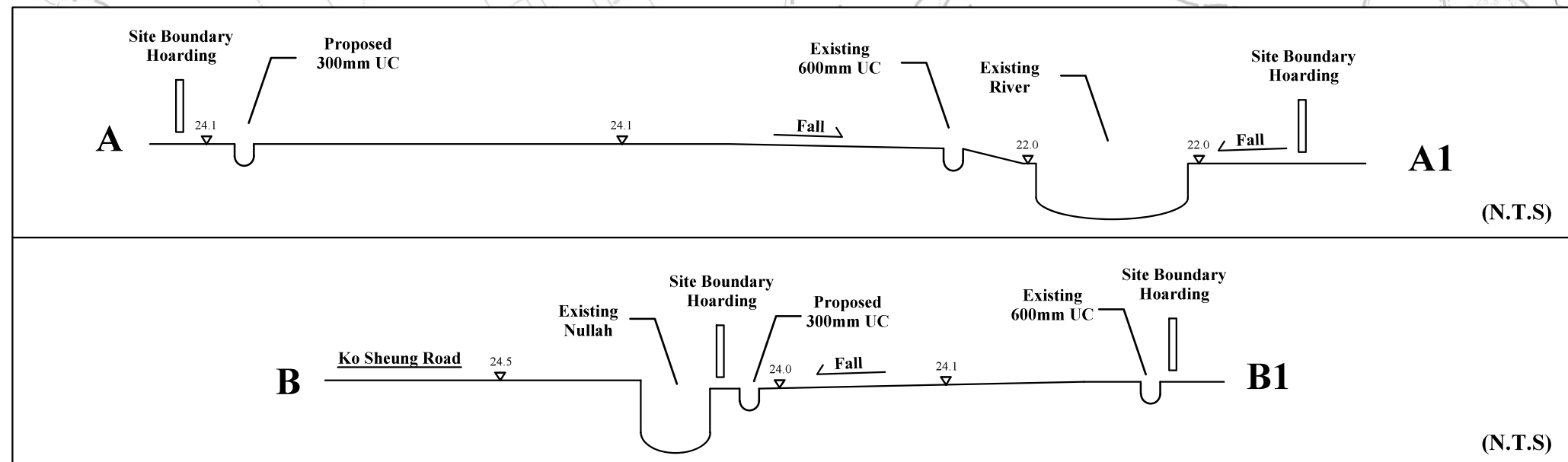
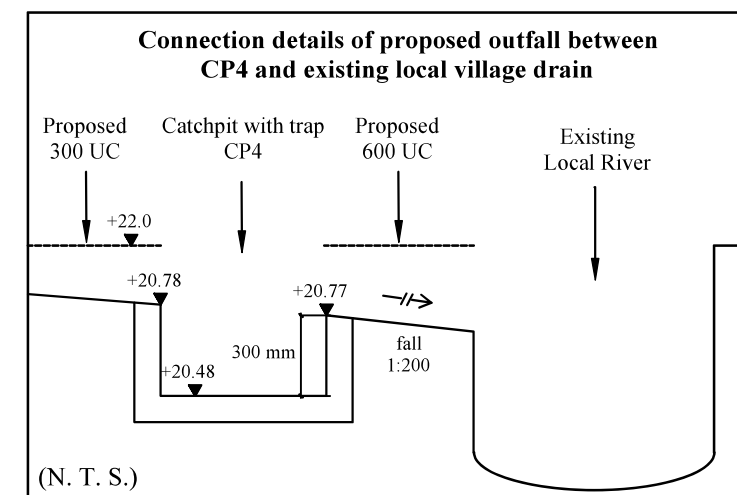


- Current Application Site Area
- Previous Application Site Area

Legend

- U-Channel
- Catch-pit with trap
- Catch-pit
- Viewpoint of drainage photo
- Ex.

Existing



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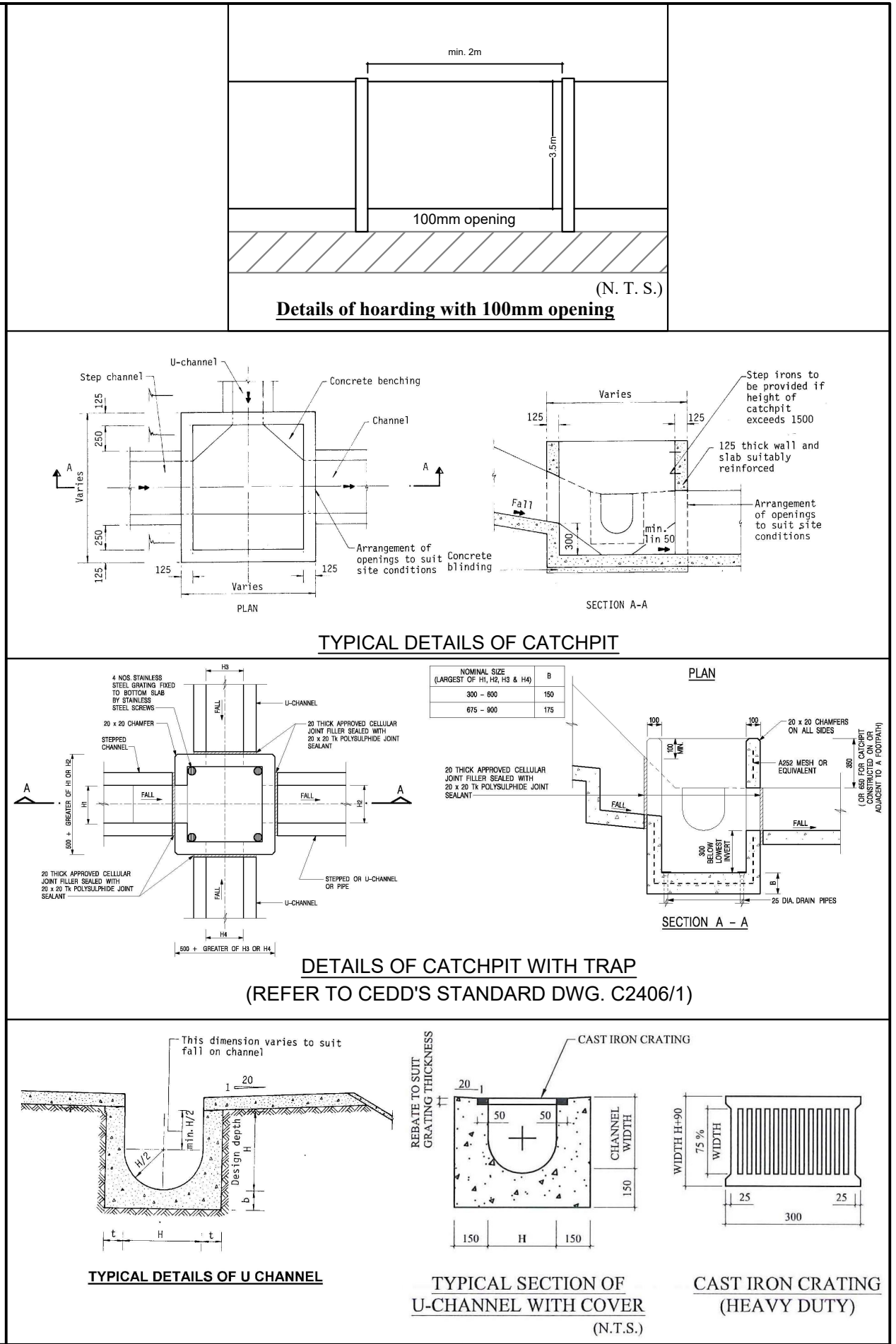
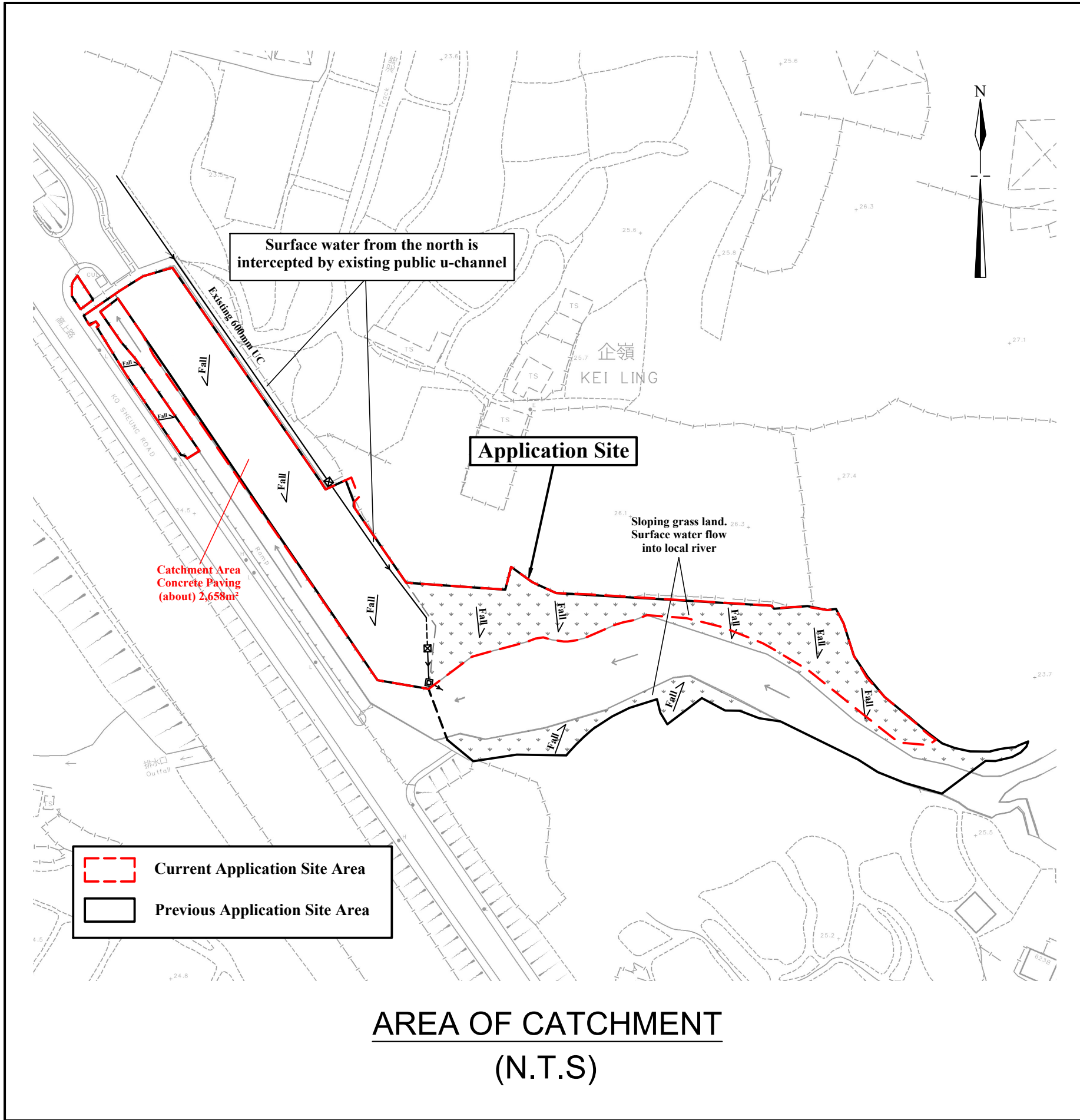
July 2026

Drainage Proposal

(Approved under previous application A/YL-PH/969)
Government Land in D.D.114
Pat Heung, Yuen Long

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Plan 7.1
(P 23009)



1 For the Catchment Area

$$\begin{aligned}\text{Area, } A &= 2658 \text{ m}^2 \\ \text{Average slope, } H &= 0.1 \text{ m per 100m} \\ \text{Distance on the line of natural flow, } L &= 10 \text{ m}\end{aligned}$$

$$\begin{aligned}\text{Time of concentration, } t_o &= 0.14465L / (H^{0.2}A^{0.1}) = 0.14465 (10) / (0.13^{0.2} \times 2658^{0.1}) \\ &= 1.0 \text{ min}\end{aligned}$$

SDM 7.5.2 (d)

2 For Proposed U-Channel in the catchment area

	From	To
Ground level (mPD)	24.10	22.00
Invert level (mPD)	22.34	20.78

$$\begin{aligned}\text{Width of u-channel, } w &= 300 \text{ mm} \\ \text{Length of u-channel, } L_c &= 156 \text{ m} \\ \text{Depth of vertical part of u-channel, } d &= 1070 \text{ mm} \\ \text{Gradient of u-channel, } S_f &= (22.34 - 20.78) / 156 = 0.0100\end{aligned}$$

$$\begin{aligned}\text{Cross-Section Area, } a &= 0.5 \pi r^2 + w d = 0.5 \times 3.14 \times 150^2 + 300 \times 1070 \\ &= 0.356 \text{ m}^2 \\ \text{Wetted Perimeter, } p &= \pi r + 2 d = 3.14 \times 150 + 2 \times 1070 \\ &= 2.611 \text{ m} \\ \text{Hydraulic radius, } R &= a / p \\ &= 0.136 \text{ m}\end{aligned}$$

SDM 8.2.1

3 Use Manning Equation for estimating velocity of stormwater

$$\begin{aligned}\text{Take } n &= 0.016 \text{ for concrete lined channels:-} \\ \text{Allowable velocity, } v &= R^{1/6} \times (RS_f)^{1/2} / n = (0.136)^{1/6} \times (0.136 \times 0.01)^{1/2} / 0.016 \\ &= 1.66 \text{ m/s} \\ \text{Time of flow, } t_f &= 1.6 \text{ min}\end{aligned}$$

SDM Table 13
SDM Table 12

4 Use "Rational Method" for calculation of design flow

$$\begin{aligned}\text{Design intensity, } i &= a / (t_o + t_f + b)^c \\ &= 474.6 / (2.9 + 0.5 + 2.9)^{0.42} \text{ for return period } T = 50 \text{ years} \\ &= 308\end{aligned}$$

SDM 4.3.2
SDM Table 3

Type of surface	Runoff Coefficient C	Catchment Area A (m ²)	C x A
Flat Grassland (heavy soil)	0.25	0.0	0.0
Concrete Paving	0.95	2658.0	2525.1
SUM =			2525.1

SDM 7.5.2 (b)

$$\text{Upstream flow, } Q_u = 0 \text{ m}^3/\text{s}$$

$$\begin{aligned}\text{Design flow, } Q_d &= 0.278i \sum C_j A_j + Q_u \text{ where } A_j \text{ is in km}^2 \\ &= 0.278 \times 308 \times 2525.1 / 1000000 + 0 \\ &= 0.216 \text{ m}^3/\text{s}\end{aligned}$$

SDM 7.5.2 (a)

$$\begin{aligned}\text{Allowable flow, } Q_a &= a \times v \\ &= 0.356 \times 1.66 \\ &= 0.590 \text{ m}^3/\text{s}\end{aligned}$$

$$> Q_d \text{ (O.K.)}$$

Reference was made to Stormwater Drainage Manual (SDM) by DSD

Scale: NA

Drainage Calculation

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July 2026

Government Land in D. D. 114
Pat Heung, Yuen Long

Page 1
(P23009)



辦公室



會議室



員工休息室



接待處及犬隻跑步機



犬隻跑步機



職員工作用品存放



乾衣機(動物及職員使用)及存放物資



訪客探訪犬隻區



糧倉及物資存貨



毛巾衣物清洗位置



犬隻洗澡位置



狗隻糧櫃



晒晾位置



洗手間



床及墊清洗位置



義工儲物櫃

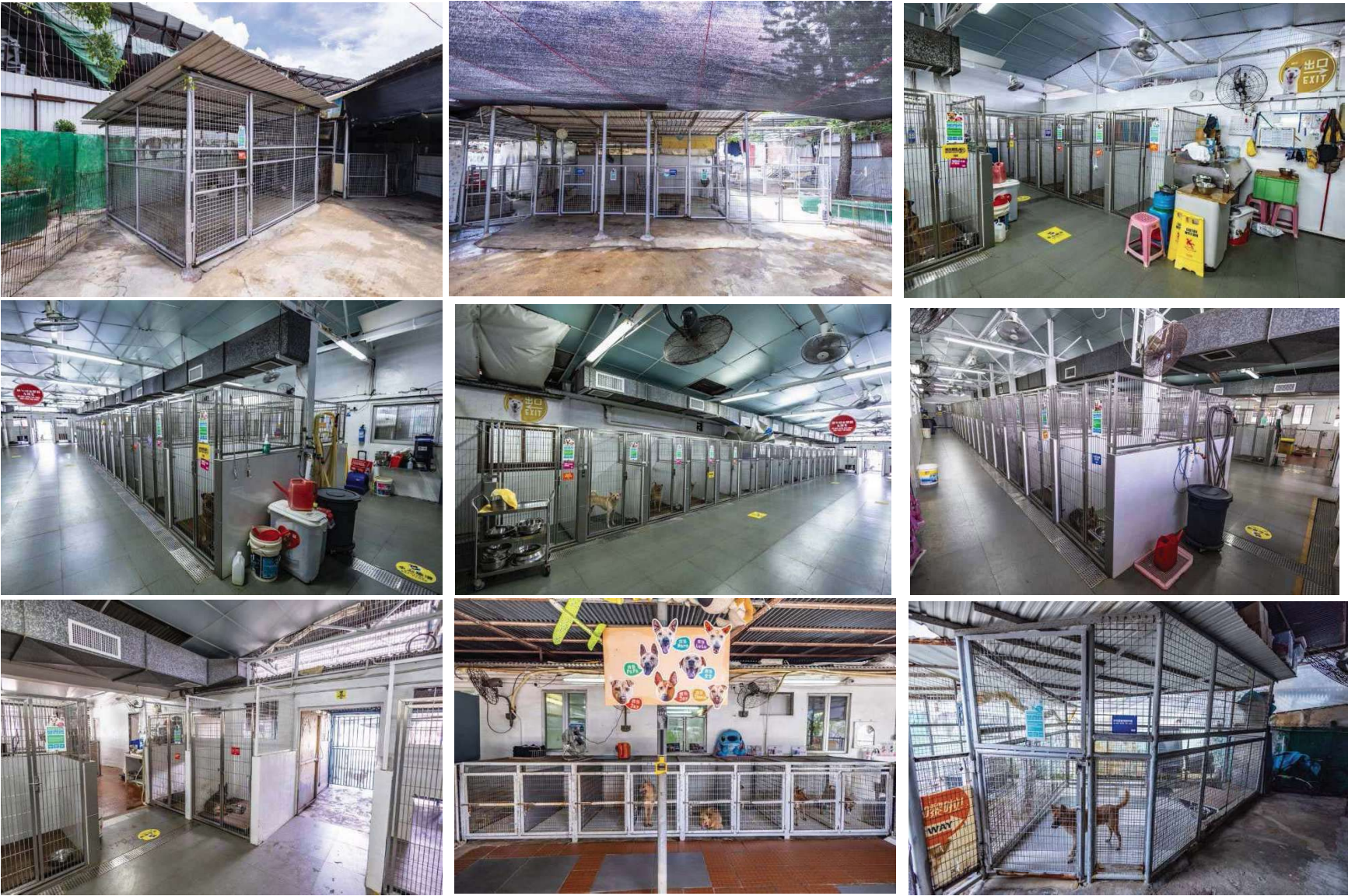


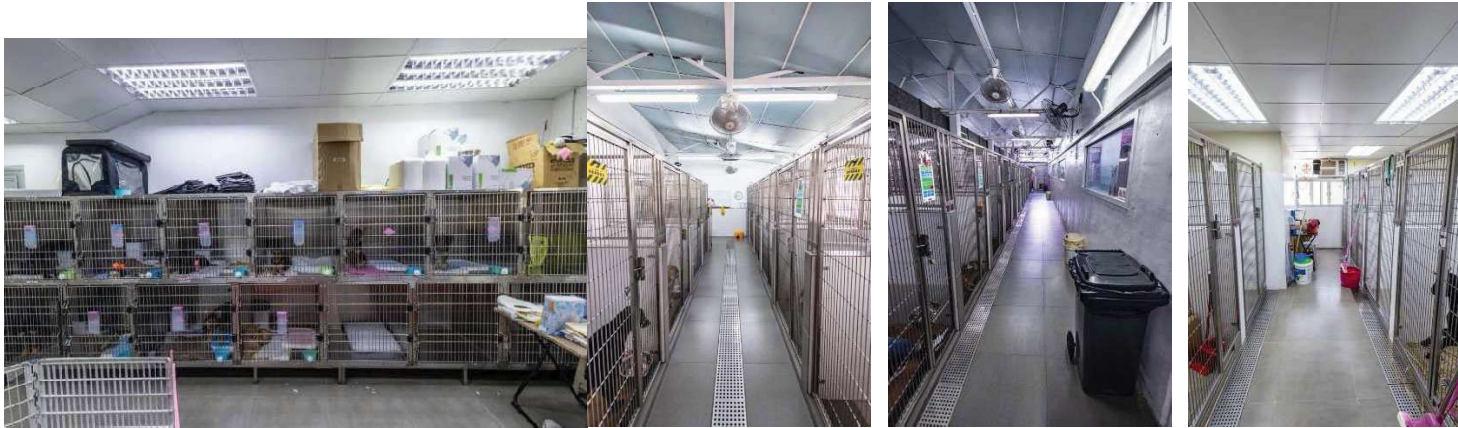
物資及工具存放空間



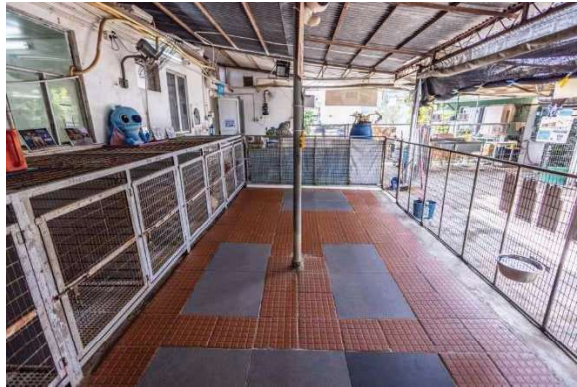
泊車空間

狗隻住宿位置:





狗隻活動位置:



羊住宿位置:



龜住宿位置:





貓房工作空間

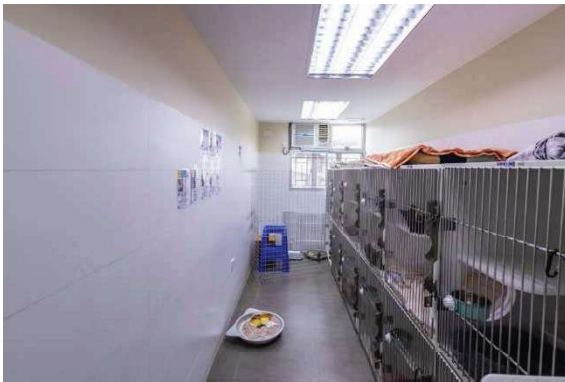


貓房清洗用具位置

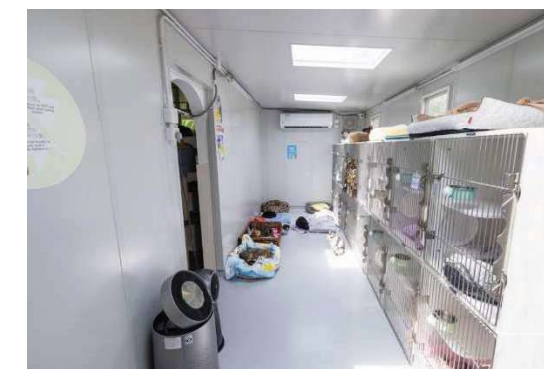
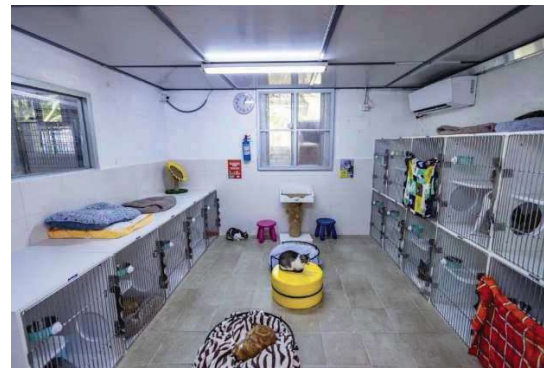


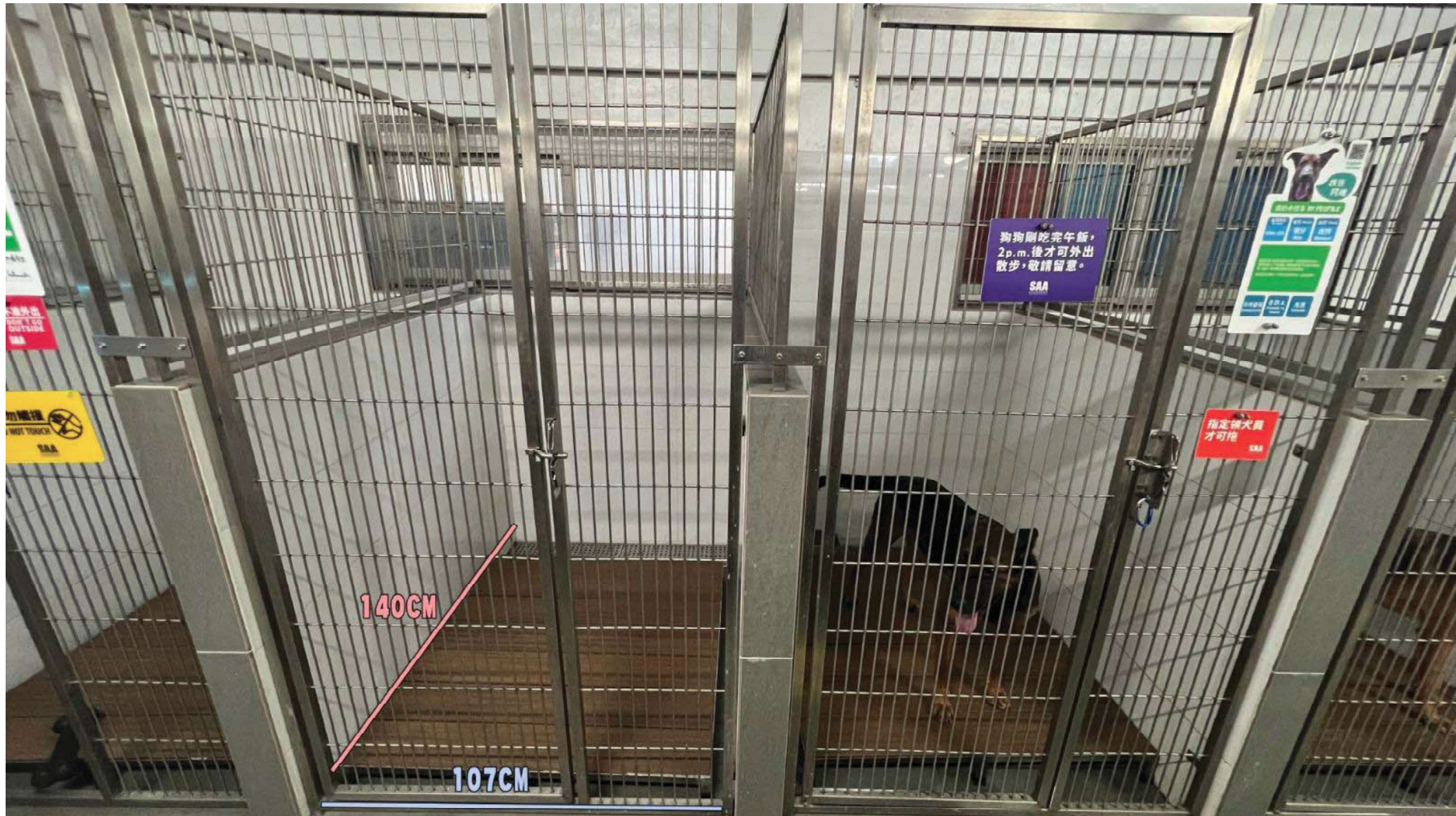
貓房用品存放位置

隔離貓房住宿及活動空間:



貓隻住宿及活動空間：





Living space for dogs
(Area: about 1.5m² each; Dimension: 140 cm (L) X 107 cm (W))



Living space for cats
(Area: about 0.36m² each; Dimension: 63.5 cm (L) X 57 cm (W))

GoldRich PLANNERS & SURVEYORS LTD.

金潤規劃測量師行有限公司

13 June 2025

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Planning Department
Unit 2202, 22/F, CDW Building
388 Castle Peak Road, Tsuen Wan, N.T.

By E-mail

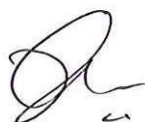
Dear Ms. LEUNG,

**Compliance with Approval Condition (d)
Submission of a Run-in/out Proposal**

**Proposed Temporary Animal Boarding Establishment with Ancillary Facilities
for a Period of 5 Years and Filling of Land on Government Land
in D.D. 114, Kei Ling, Pat Heung, Yuen Long
(Application No. A/YL-PH/969)**

We would like to submit a R-to-C table in response to the comment from Highways Department for compliance with approval condition (d) regarding the submission of a run-in/out proposal for the captioned application.

Yours faithfully,
For and on behalf of
Goldrich Planners & Surveyors Ltd.



Francis Lau

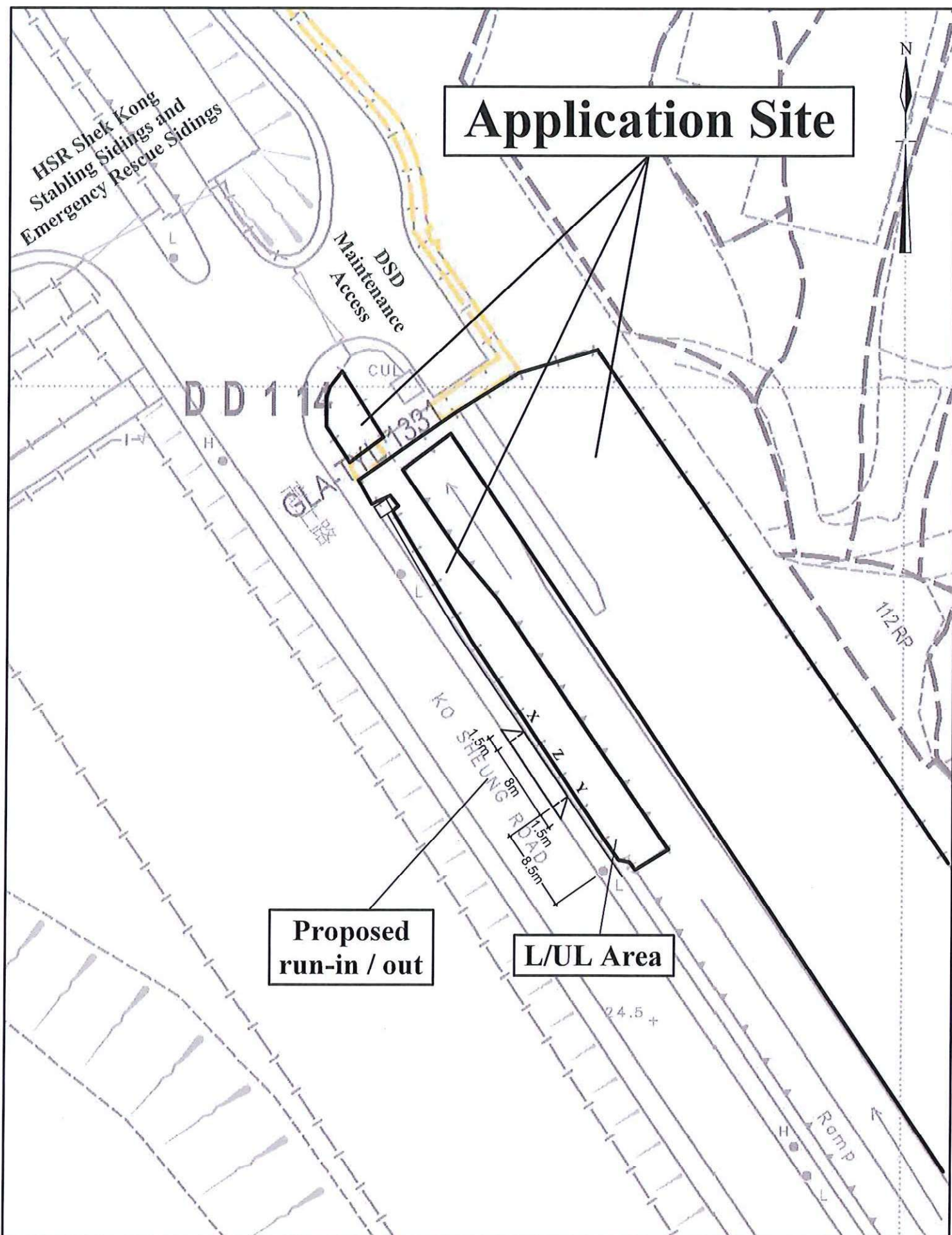
Encl.

Compliance with Approval Condition (d)
Planning Application No. A/YL-PH/969
Response-to-Comments

Comments from the Chief Highway Engineer/New Territories West of the Highways Department

I.	Comment	Response
1.	The location of the proposed run-in/out should be consistent with the relevant planning application approved. For easy reference, the approximate distance of the run-in/out from the existing lamp post should be marked.	The location of the proposed run-in/out is consistent with the approved planning application. The distance between the existing lamp post and the proposed run-in/out is marked on Plan 8a .
2.	To implement the proposed run-in/out, it is anticipated that the existing U-channel and covers, beam barriers and gullies would be affected. The proposal of modification/alteration/improvement of the relevant existing road features, if required, to facilitate the provision of the run-in/out is missing in the submission.	Please see Plan 12 for the existing road features and the improvement works. The implementation of the proposed run-in/out would not encroach on the existing U-channel. The existing U-channel and covers would not be affected. The beam barriers within the proposed run-in/out area will be removed and the two sides of the end of beam barrier will be modified with concrete footings according to Highways Department's Standard Drawings H2117D (Plan for roadside with anchor block and horizontal flare), H2119E (Section A-A) and H2120A when implementing the proposed run-in/out. There are no existing gullies within the proposed run-in/out area.

- END -



1:500

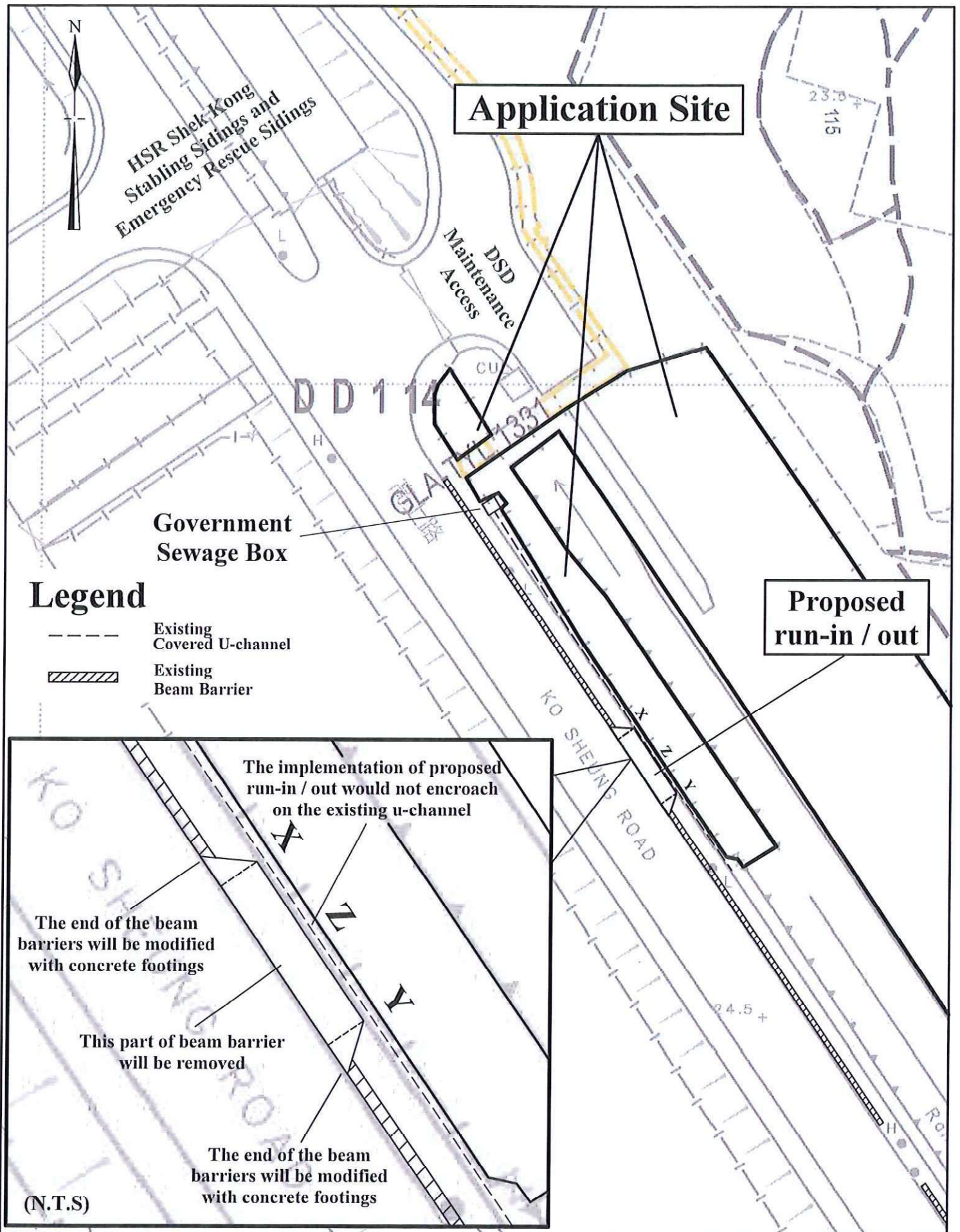
Plan Showing Proposed Run-in / out

Goldrich Planners & Surveyors Ltd.

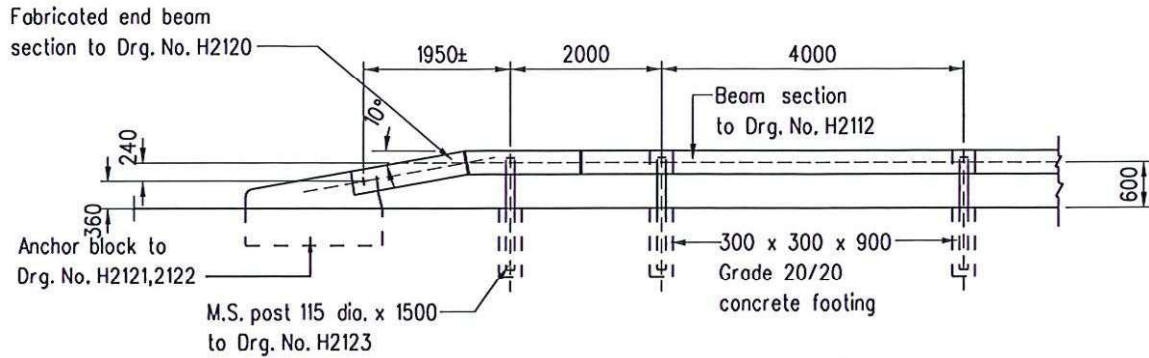
May 2025

Government Land in D.D.114
Pat Heung, Yuen Long

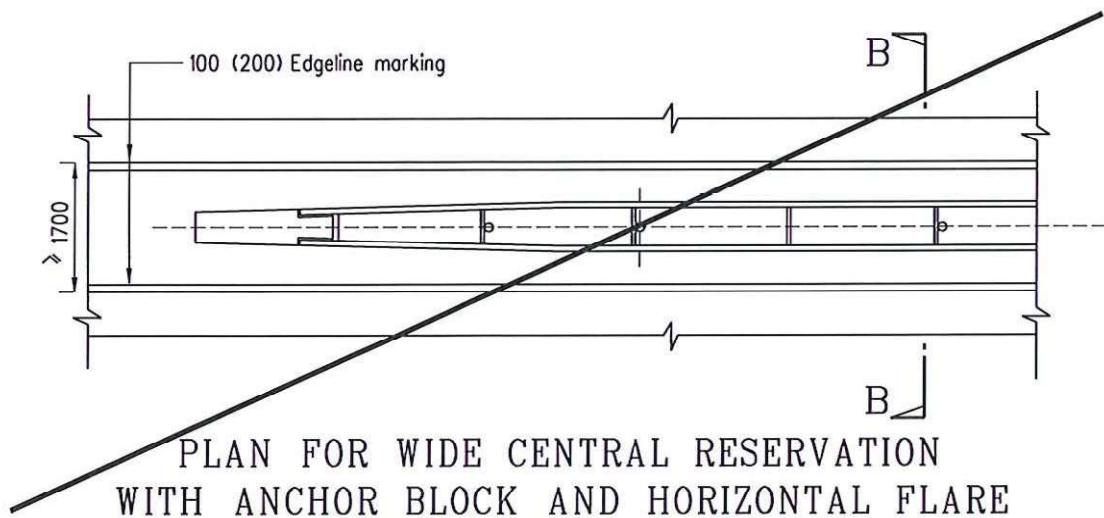
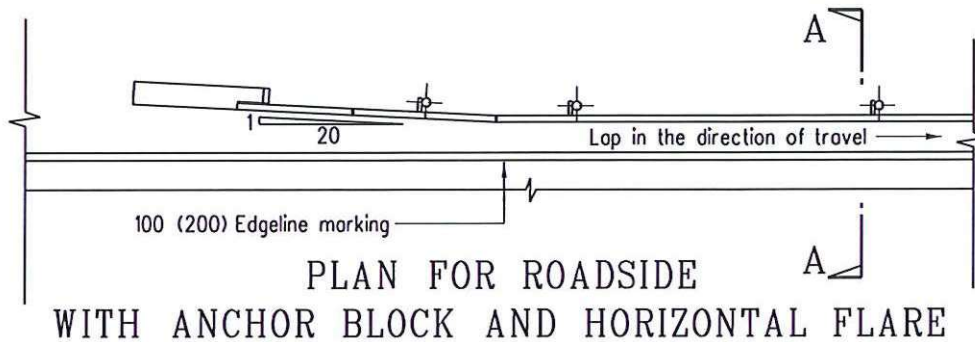
Plan 8a
(P 23009)



1:500	Plan Showing Existing road features and improvement works Government Land in D.D.114 Pat Heung, Yuen Long	Goldrich Planners & Surveyors Ltd.
June 2025		Plan 12 (P 23009)



ELEVATION WITH BEAM END RAMPED DOWN TO ANCHOR BLOCK



Notes:

1. All dimensions are in millimetres.
2. For Sections A-A & B-B see Drg. No. H2119.
3. Where the concrete footing is located in block paved footpath, the footing should be made of colour concrete with colour to tie with that of the paving blocks.

D	General revision and note 2 amended	Original signed	Nov 16
C	Sheet number in title amended.	-	Jun 06
B	Note 3 amended	-	Dec 00
A	Note 3 added	-	Nov 99
	Former Drg. No. H2010/1 with general revision	-	Jun 94
REF.	REVISION	SIGNATURE	DATE

UNENSIONED BEAM BARRIERS
WITH CONCRETE FOOTINGS
FOR POST SPACING 4000mm
(SHEET 1 OF 3)

HIGHWAYS DEPARTMENT

REFERENCE

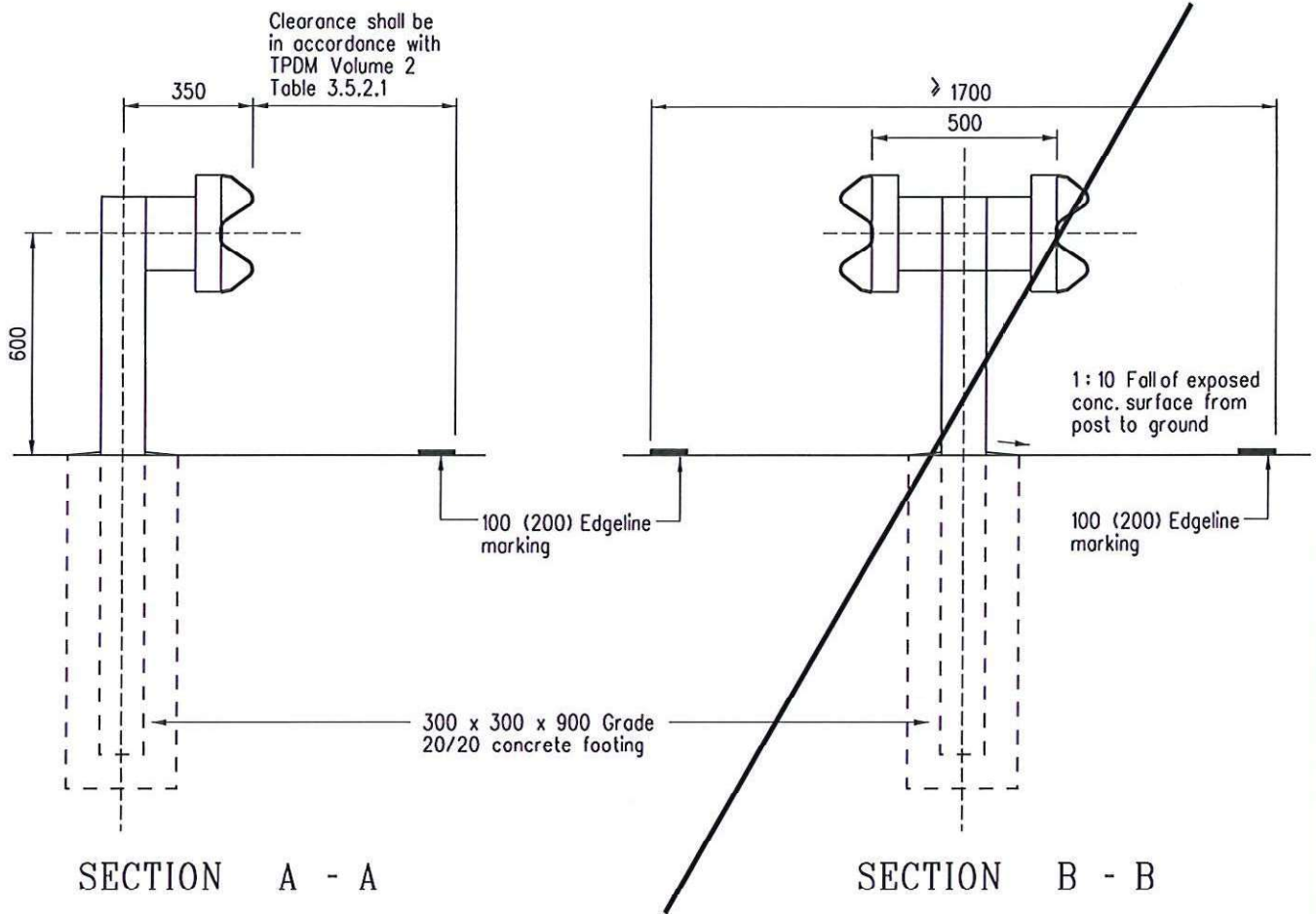
DRAWING No.

CAD

SCALE

1 : 100

H 2117D



Notes:

1. Dimensions are in millimetres.
2. See Drg. No. H2126 for details of beam mounting.
3. Where the concrete footing is located in block paved footpath, the footing should be made of colour concrete with colour to tie with that of the paving blocks.

E	Section C-C deleted	Original signed	Nov 16
D	Sheet number in title amended.	-	Jun 06
C	General revision.	-	Oct 02
B	The horizontal clearance ≥ 500 between barrier and edgeline marking amended to be in accordance with TPDM. Note 3 amended.	-	Dec 00
A	Note 3 added	-	Nov 99
	Former Drg. No. H2010/3 with general revision	-	Jun 94
REF.	REVISION	SIGNATURE	DATE

**UNTENSIONED BEAM BARRIERS
WITH CONCRETE FOOTINGS
FOR POST SPACING 4000mm
(SHEET 2 OF 3)**

HIGHWAYS DEPARTMENT

REFERENCE

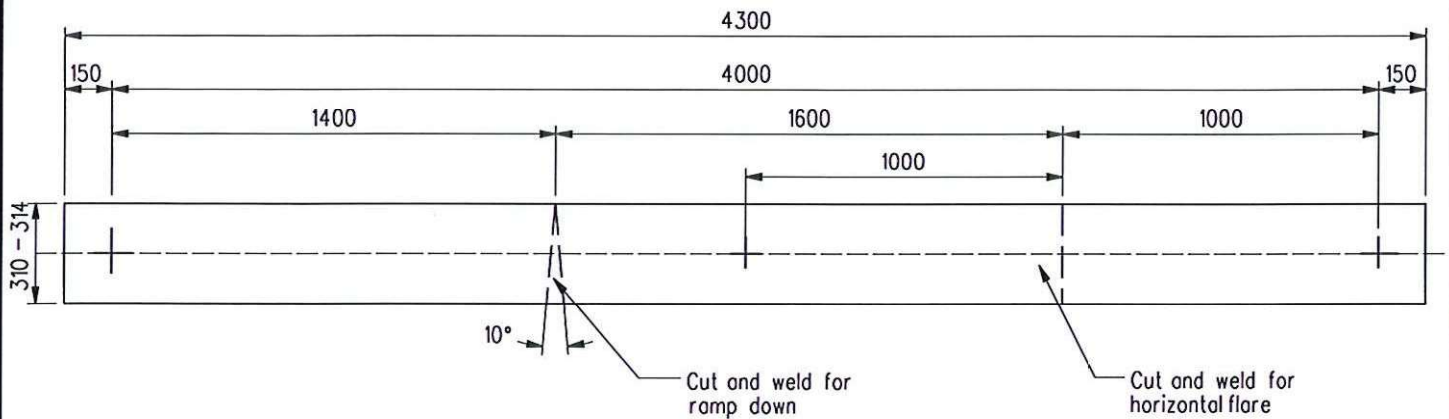
DRAWING No.

CAD

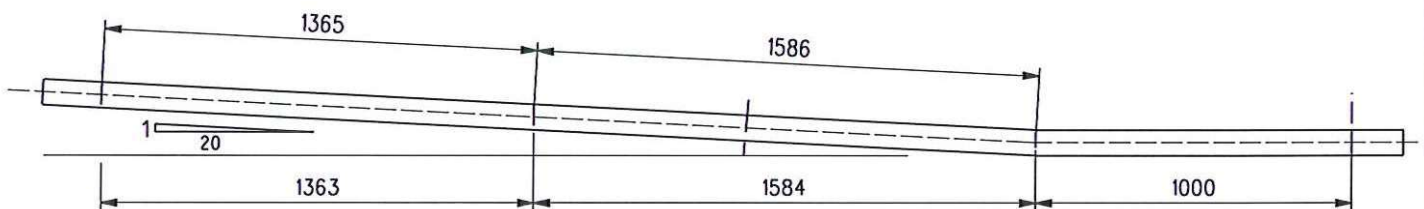
SCALE

1 : 20

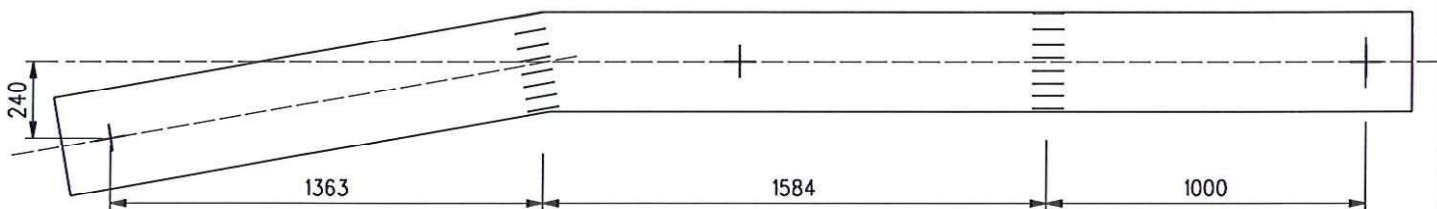
H 2119E



ELEVATION OF BEAM SECTION BEFORE CUTTING AND WELDING



PLAN AFTER CUTTING AND WELDING



ELEVATION AFTER CUTTING AND WELDING

Notes:

1. Dimensions are in millimetres.
2. Welds shall be ground flush and treated with an alternative zinc coating system approved by the Engineer if welding is done after hot-dip galvanizing
3. Beam section details see Drg. No. H2112.

A	Sheet number in title amended.		Jun 06
	Former Drg. No. H2012 with general revision		Jun 94
REF.	REVISION	SIGNATURE	DATE

UNTENSIONED BEAM BARRIERS
WITH CONCRETE FOOTINGS
FOR POST SPACING 4000mm
(SHEET 3 OF 3)

HIGHWAYS DEPARTMENT

REFERENCE

DRAWING No.

CAD

SCALE

1 : 25

H 2120A

規劃署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路388號
中染大廈22樓2202室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference:
本署檔號 Our Reference: TPB/A/YL-PH/969
電話號碼 Tel. No. :
傳真機號碼 Fax No. :

29 January 2026

Dear Sir/Madam,

**Proposed Temporary Animal Boarding Establishment with Ancillary Facilities
For a Period of 5 Years and Filling of Land in “Agriculture” Zone,
Government Land in D.D. 114, Kei Ling, Pat Heung, Yuen Long
(Planning Application No. A/YL-PH/969)**

**Compliance with Approval Condition (d) –
Submission of a Run-in/out Proposal to/from Ko Sheung Road and
modification proposal of associated street furniture on Ko Sheung Road**

I refer to your submission via letter dated 13.6.2025 for compliance with the captioned approval condition. Relevant departments have been consulted on your submissions. Your submissions are considered:

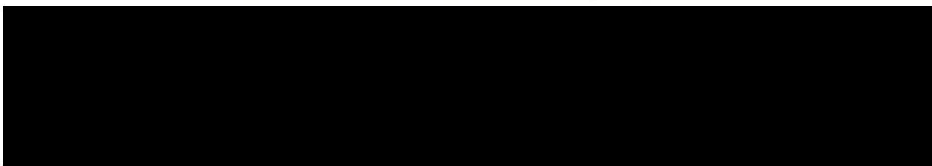
- ☒ Acceptable. The captioned condition **has been complied with**. Please find advisory comment(s) from relevant department in **Appendix**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**. Please find detailed departmental comment(s) in **Appendix**.

Should you have any enquiries, please contact [REDACTED] of the Transport Department at [REDACTED] or [REDACTED] of the Highways Department at [REDACTED]

Yours faithfully,



(Josephine Lo)
District Planning Officer/
Fanling, Sheung Shui and Yuen Long East
Planning Department



Advisory Comments from the Chief Highway Engineer/New Territories West of the Highways Department (HyD)

The submission for compliance with the approval condition (d) is acceptable from the highway maintenance point of view, subject to the following comments:

- (a) The exact location of the run-in/out and the termination points of the existing beam barriers at both sides are agreed by the Transport Department.
- (b) The existing U-channel and covers should be properly protected from drainage blockage or damages caused by the vehicular access. Any damages incurred shall be repaired and made good at the applicant's own cost, to the satisfaction of HyD.
- (c) An excavation permit shall be obtained from this Regional Office prior to the commencement of excavation works on public roads or footpaths. An excavation permit shall be obtained from the District Lands Officer/Yuen Long, Lands Department for works on unallocated Government Land.
- (d) The existing footpath and associated facilities that were modified or removed due to the run-in/out should be reinstated to their original condition upon expiry of the subject planning application.
- (e) To facilitate future site coordination and inspection matters, the applicant is welcome to contact the inspector, Mr YU (DIOW/YL(E)) at 2473 3166 prior to the implementation of the proposed run-in/out.

GoldRich PLANNERS & SURVEYORS LTD.

金 潤 規 劃 測 量 師 行 有 限 公 司



12 November 2024

The Secretary
Town Planning Board
15/F, North Point Government Offices
333 Java Road, North Point, Hong Kong

By Post and Email:
tpbpd@pland.gov.hk

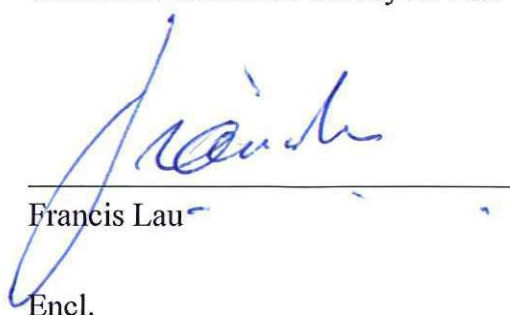
Dear Sir,

A/YL-PH/969
Compliance with Approval Condition (f)
Submission of a Drainage Proposal

Proposed Temporary Animal Boarding Establishment with Ancillary Facilities
for a Period of 5 Years and Filling of Land
on Government Land in D.D. 114, Kei Ling
Pat Heung, Yuen Long

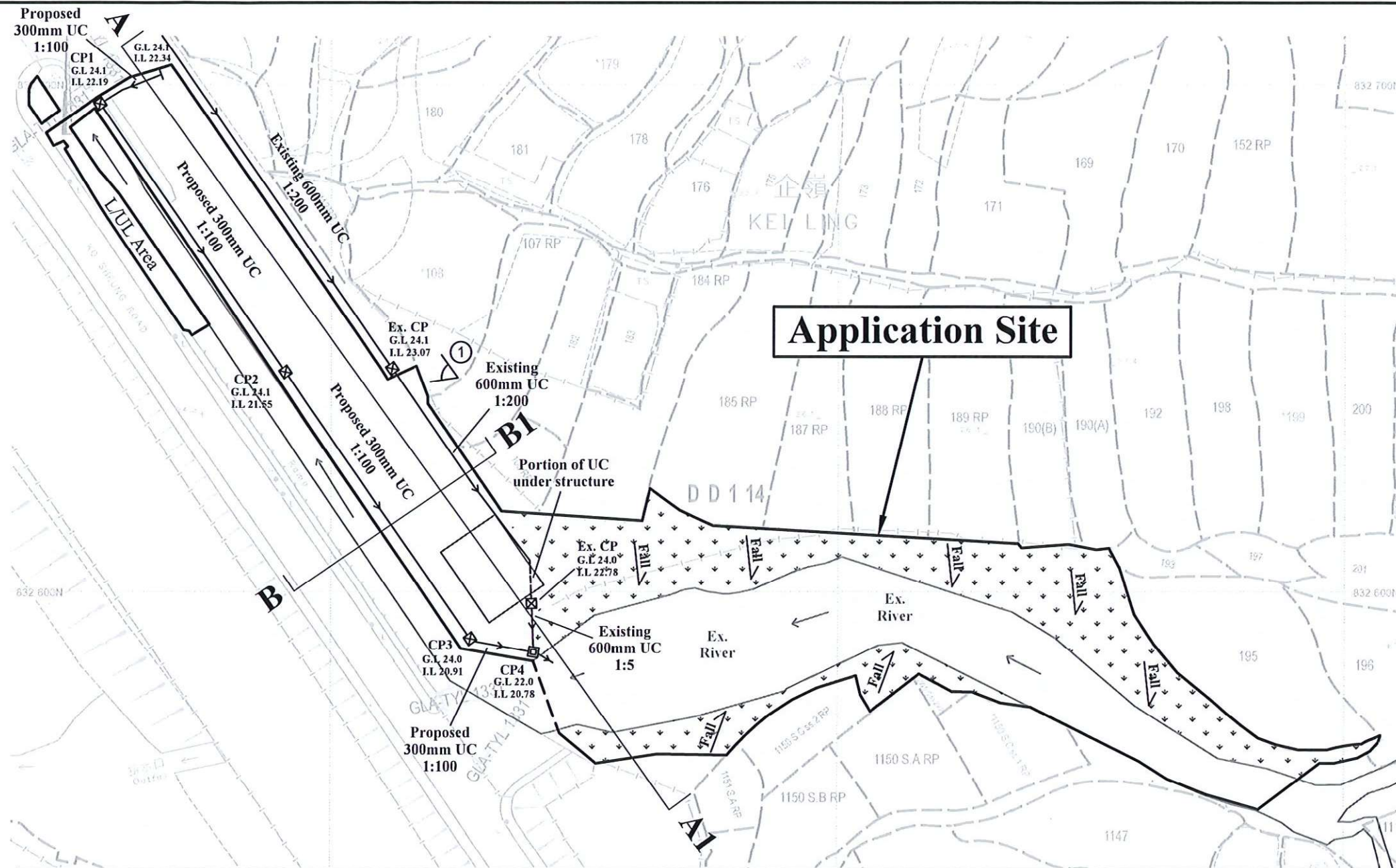
We would like to submit a drainage proposal (Plan 11.1 and Plan 11.2) in compliance with approval condition (f) regarding the submission of a drainage proposal for the captioned application.

Yours faithfully,
For and on behalf of
Goldrich Planners & Surveyors Ltd.



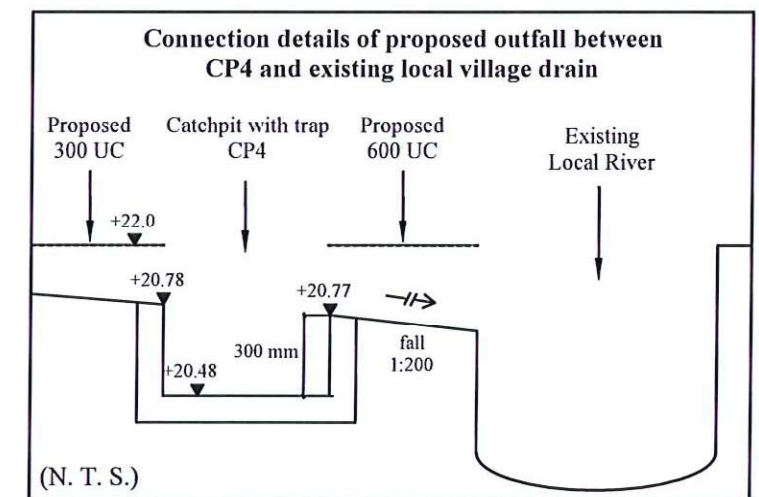
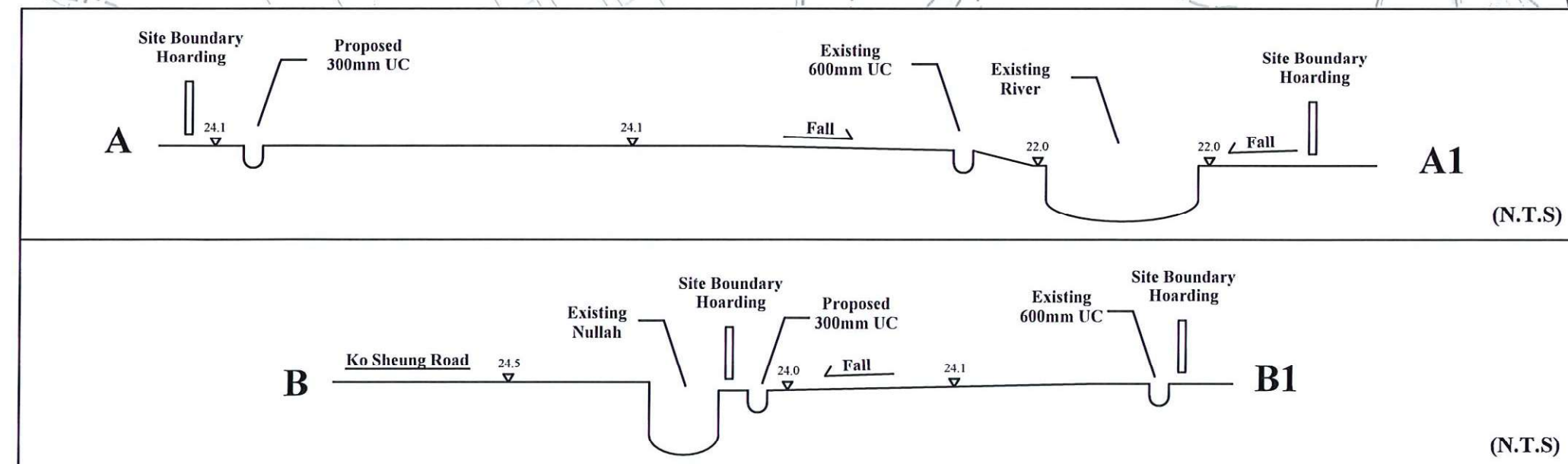
Francis Lau

Encl.



Legend

- U-Channel
- Catch-pit with trap
- ⊗ Catch-pit
- ◁ Viewpoint of drainage photo
- Ex. Existing



1:1000 (A3)

November 2024

Drainage Proposal

Government Land in D.D.114
Pat Heung, Yuen Long

Goldrich Planners &
Surveyors Ltd.

Plan 11.1
(P 23009)

Viewpoint 1



1 For the Catchment Area			Ref.	
Area, A	=	2606 m ²		
Average slope, H	=	0.1 m per 100m		
Distance on the line of natural flow, L	=	10 m		
Time of concentration, t ₀	=	$0.14465L / (H^{0.2}A^{0.1}) = 0.14465 (10) / (0.13^{0.2} \times 2606^{0.1})$	SDM 7.5.2 (d)	
	=	1.0 min		
2 For Proposed U-Channel in the catchment area				
	From	To		
Ground level (mPD)	24.10	22.00		
Invert level (mPD)	22.34	20.78		
Width of u-channel, w	=	300 mm		
Length of u-channel, L _c	=	156 m		
Depth of vertical part of u-channel, d	=	1070 mm		
Gradient of u-channel, S _f	=	$(22.34 - 20.78) / 156 = 0.0100$		
Cross-Section Area, a	=	$0.5 \pi r^2 + w d = 0.5 \times 3.14 \times 150^2 + 300 \times 1070$		
	=	0.356 m ²		
Wetted Perimeter, p	=	$\pi r + 2 d = 3.14 \times 150 + 2 \times 1070$		
	=	2.611 m		
Hydraulic radius, R	=	a / p	SDM 8.2.1	
	=	0.136 m		
3 Use Manning Equation for estimating velocity of stormwater				
Take n	=	0.016 for concrete lined channels:-	SDM Table 13	
Allowable velocity, v	=	$R^{1/6} \times (RS_f)^{1/2} / n = (0.136)^{1/6} \times (0.136 \times 0.01)^{1/2} / 0.016$	SDM Table 12	
	=	1.66 m/s		
Time of flow, t _f	=	1.6 min		
4 Use "Rational Method" for calculation of design flow				
Design intensity, i	=	$a / (t_0 + t_f + b)^c$	SDM 4.3.2	
	=	$474.6 / (2.9 + 0.5 + 2.9)^{0.42}$ for return period T = 50 years	SDM Table 3	
	=	308		
Type of surface	Runoff Coefficient C	Catchment Area A (m ²)	C x A	SDM 7.5.2 (b)
Flat Grassland (heavy soil)	0.25	0.0	0.0	
Concrete Paving	0.95	2606.0	2475.7	
		SUM =	2475.7	
Upstream flow, Q _u	=	0 m ³ /s		
Design flow, Q _d	=	$0.278i \sum C_i A_i + Q_u$ where A _i is in km ²		SDM 7.5.2 (a)
	=	$0.278 \times 308 \times 2475.7 / 1000000 + 0$		
	=	0.212 m ³ /s		
Allowable flow, Q _a	=	$a \times v$		
	=	0.356×1.66		
	=	0.590 m ³ /s		
	>	Q _d (O.K.)		
Reference was made to Stormwater Drainage Manual (SDM) by DSD				

Scale: NA	Drainage Calculation	Goldrich Planners & Surveyors Ltd.
November 2024		Page 1 (P23009)
	Government Land in D. D. 114 Pat Heung, Yuen Long	

規劃署

粉嶺、上水及元朗東規劃處
新界荃灣青山公路388號
中染大廈22樓2202室



Planning Department

Fanling, Sheung Shui & Yuen Long East
District Planning Office
Unit 2202, 22/F, CDW Building,
388 Castle Peak Road, Tsuen Wan, N.T.

來函檔號 Your Reference:
本署檔號 Our Reference: TPB/A/YL-PH/969
電話號碼 Tel. No. :
傳真機號碼 Fax No. :

6 March 2025

Dear Sir/Madam,

**Proposed Temporary Animal Boarding Establishment with Ancillary Facilities
For a Period of 5 Years and Filling of Land in "Agriculture" Zone,
Government Land in D.D. 114, Kei Ling, Pat Heung, Yuen Long
(Planning Application No. A/YL-PH/969)**

Compliance with Approval Condition (f) - Submission of a Drainage Proposal

I refer to your submission via email dated 12.11.2024 for compliance with the captioned approval condition. Relevant department has been consulted on your submission. Your submission is considered:

- ☒ Acceptable. The captioned condition **has been complied with**. Please find detailed departmental comment(s) in **Appendix**.
- ☐ Acceptable. Since the captioned condition requires both the submission and implementation of the proposal, it **has not been fully complied with**. Please proceed to implement the accepted proposal for full compliance with the approval condition.
- ☐ Not acceptable. The captioned condition **has not been complied with**.

Should you have any enquiries, please contact [REDACTED] of the Drainage Services Department at [REDACTED]

Yours faithfully,

(Josephine LO)

District Planning Officer/
Fanling, Sheung Shui and Yuen Long East
Planning Department



規劃署35周年
Planning Department 35th Anniversary

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Detailed Comments of the Chief Engineer/Mainland North, Drainage Services Department

The applicant is reminded to implement the drainage facilities on the application site in accordance with the agreed drainage proposal. The applicant is required to maintain all the drainage facilities in good condition and ensure that the proposed development would neither obstruct overland flow nor adversely affect exiting natural streams, village drains, ditches and the adjacent areas etc. The applicant is also required to rectify the drainage system at their own expense to the satisfaction of government parties concerned if they are found to be inadequate or ineffective during operation.